



Inspection Report

Property Address:



Akamai Structural Inspector LLC

**Tim Harsh IOS.0002269-RES
7507 Tamarind Ave
Las Vegas, NV 89147
808-870-3552**

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Date: 1/5/2019	Time: 09:00 AM	Report ID: 0105180900TLH
Property:	Customer:	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = The inspector visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not reviewed (NR) = The inspector did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Preventive Maintenance (PM) This item was reviewed and is in need of normal recurring preventive maintenance or is deemed to be a deferred maintenance issue.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a licensed and qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Safety Concern (SC) The issue is or could become a potential safety issue. Further review and corrections as needed are advised

Standards of Practice:

Nevada Administrative Code (NAC) 645D

In Attendance:

Seller and customer's agent

Type of building:

Single Family (1 story), Townhome

Approximate age of building:

New Construction

Home Faces:

East

Temperature:

Approximately 50 degrees (F)

Weather:

Cloudy

Ground/Soil surface condition:

Dry

Rain in last 3 days:

No

1. Grounds

1. A certified inspector shall inspect the site of the structure while conducting an inspection of the structure, including, but not limited to: (a) The land grade and water drainage; (b) The retaining walls affecting the structure; (c) The driveways and walkways; and (d) The porches and patios. 2. An inspection of the site must include, without limitation: (a) An identification and evaluation of the materials and conditions of the driveways, walkways, grade steps, patios and other items contiguous with the inspected structure; (b) An observation of the drainage and grading for conditions that adversely affect the structure; and (c) An observation of the above-grade vegetation which affects the exterior of the structure.

Styles & Materials

Irrigation system:

Automatic controller
Drip head emitters
Anti siphon / Pressure vacuum breaker
PVC pipe

Site Drainage:

Proper swale observed

Vegetation:

Reviewed

Walls / fences:

Masonry
Metal gate(s)

Walks and Drives:

Block, brick or gravel

Exterior Decks / Balconies / Patios:

Deck soffit (underside(s)) enclosed
Brick, block or stone deck / patio

Exterior Steps Stairways:

Handrails / guardrails
Block steps

Items

1.0 SITE / DRAINAGE / RETAINING WALLS

Comments: Inspected

1.1 DECKS / WALKS / PLANTER AREAS/ PARKING AREAS / DRIVEWAYS

Comments: Repair of Replace

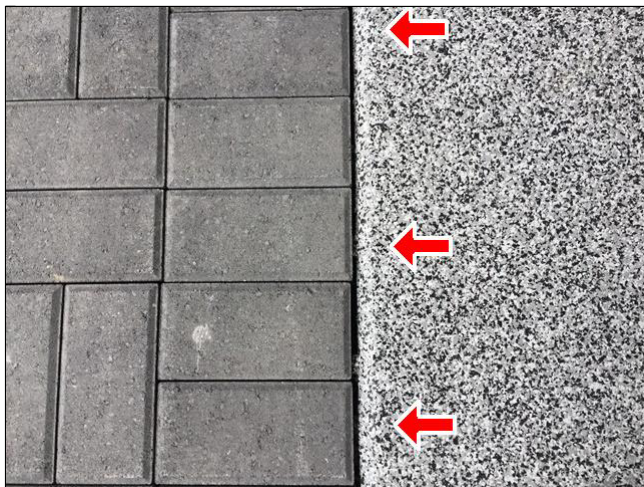
(1) Sand missing at paver blocks. This condition was observed at several locations around the structure. The photographs depicted are only representative photographs of this finding. Acceptable building standards state "Prior to final compaction of the surface, all joints should be filled with kiln dried fine jointing sand. All joints should remain full of jointing sand at all times, with periodic checking and re-sanding carried out where necessary." It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)



1.1 Item 4(Picture)



1.1 Item 5(Picture)

(2) Concrete cracks/damage observed. This condition was observed at the front of the property. The photographs depicted are only representative photographs of this finding. Left uncorrected this condition can result in accelerated deterioration. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. " Concrete should not deteriorate to the extent that the aggregate is exposed or the aesthetics are destroyed under normal use and weather conditions." It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



1.1 Item 6(Picture)



1.1 Item 7(Picture)

(3) Settling of paver blocks. This condition was observed at the front walkway and the rear patio. Refer to the photographs for further clarification. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. Some settling of the masonry driveway / walkway should be expected. Settling or heaving in excess of a 1/4 inch is unacceptable. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



1.1 Item 8(Picture)



1.1 Item 9(Picture)

(4) Paver blocks loose. This condition was observed on the front walkway. The moving pavers can pose a trip hazard. This finding does not conform to building standards and practices in effect at the time of construction or installation. The photograph depicted is only a representative photographs of this finding. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



1.1 Item 10(Picture)

1.2 IRRIGATION SYSTEM ANTI-SIPHON / PRESSURE VACUUM BREAKER

Comments: Inspected

1.3 SPRINKLERS / DRIP HEAD EMITTERS / OVERALL CONDITION

Comments: Inspected

1.4 IRRIGATION SYSTEM CONTROLLER

Comments: Preventive Maintenance

Access impaired. This condition was observed on the South side of the property. Refer to the photograph for further clarification. The controller was locked and the proper operation of the controller could not be observed. Further investigation is advised.



1.4 Item 1(Picture)

1.5 IRRIGATION SYSTEM PIPING

Comments: Repair or Replace

Irrigation pipeline unprotected where could be damaged, This condition was located in the court yard. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



1.5 Item 1(Picture)

1.6 GROUNDS LIGHTING / ELECTRICAL

Comments: Repair or Replace

Landscaping / grounds lighting fixtures inoperative. This condition was observed on the front walkway. Refer to the photograph for further clarification. . This could be a faulty light bulb or the system may be inoperative. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



1.6 Item 1(Picture)

1.7 FENCES / WALLS / GATES

Comments: Inspected

1.8 VEGETATION / SHRUBBERY / TREES

Comments: Inspected

1.9 OUTBUILDINGS / SHEDS / BARNs

Comments: Not Present

1.10 OUTDOOR GRILLS / MISC GROUNDS APPERTENANCES

Comments: Inspected

(1) Fire Hydrant located in proximity to home. This condition was located at the rear of the property. Refer to photograph for further clarification. Many insurance companies give a discount on the policy rate for a fire hydrant located in close proximity to the property. Check with your insurance provider when you are arranging your insurance on the home. This finding is deemed to be a positive finding.



1.10 Item 1(Picture)

(2) Gas outlet observed at rear patio area. This condition was observed at the rear of the structure. Refer to the photograph for further clarification. This outlet is generally an upgrade provided by the builder that will allow the homeowner to install a barbecue grill, a deck heater, or other gas operated appliances on the natural gas main for the home.

Although propane and natural gas seem to be similar they have very different characteristics. Barbecue grills, deck heaters and other propane operated appliances must have a conversion kit installed in order to be able to use natural gas in these components.

For additional information regarding converting propane appliances to natural gas please contact our natural gas utility provider, Southwest Gas Corporation toll free at (877) 860-6020. Their website can be found at <http://www.swgas.com>.

The installation of this gas stub is deemed to be a positive feature.



1.10 Item 2(Picture)

The grounds and site of the home were inspected and reported on with the above information. Although irrigation systems are reviewed the client is reminded that this is a visual Real Estate inspection service and the majority of irrigation components are located below grade and not visible for review. The review of outdoor grills that are not supplied by natural gas system for the home and have a propane tank installed, playground equipment, trampoline, sports courts are not included in the scope of this service. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

1. A certified inspector shall inspect the exterior components of a structure being inspected, including, but not limited to: (a) The exterior wall components; (b) The exposed molding and trim; (c) The windows and exterior doors; and (d) The fireplaces, flues and chimneys. 2. An inspection of exterior components must include, without limitation: (a) An identification of the type of structure and covering of the exterior component, including, but not limited to, whether it is block, siding, shingle, stucco, wood, asbestos, hard board or masonry; (b) An evaluation of the wall covering; (c) An evaluation of the condition of a representative number of windows and doors, including, but not limited to, the associated trim and hardware; and (d) An inspection and description of the condition of readily accessible porches, decks, steps, balconies and carports attached to the structure.

Styles & Materials

Siding Material:

Stucco

Trims:

Metal

Windows:

Reviewed

Metal Framed

Doors:

Wood

Metal

Solid core

Small pane glazing

Large pane Glazing

Items

2.0 SIDING

Comments: Repair or Replace

Siding amiss. This condition was observed on the South side of the structure. The photograph depicted is only a representative photograph of this finding. In accordance with Residential Construction Performance Standards stucco siding is required to present a uniform appearance when viewed under normal lighting conditions from a distance of 5 feet. The photographs depicted are only representative of this finding. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



2.0 Item 1(Picture)

2.1 SOFFITS / TRIMS

Comments: Repair or Replace

Vinyl laminate flooring use in soffit questionable. Refer to photographs for further clarification. Many manufactures take the stance that laminate flooring is not intended for outdoor use. There are some 'weather-resistant' laminates on the market, however most laminate floors are made strictly for indoor use. The flooring would warp and rapidly get damaged under changing weather conditions and would not last very long. Vinyl floor can be used in an outdoor, temperature controlled environment. This means that you can install vinyl flooring in a sun room, enclosed porch, or any other "outdoor" space where you can control the heat and cold. The manufacture of the product should be consulted as to the use in this manner and the installation instructions should be reviewed as to installation.



2.1 Item 1(Picture)



2.1 Item 2(Picture)



2.1 Item 3(Picture)

2.2 WINDOWS / SKYLIGHTS

Comments: Inspected

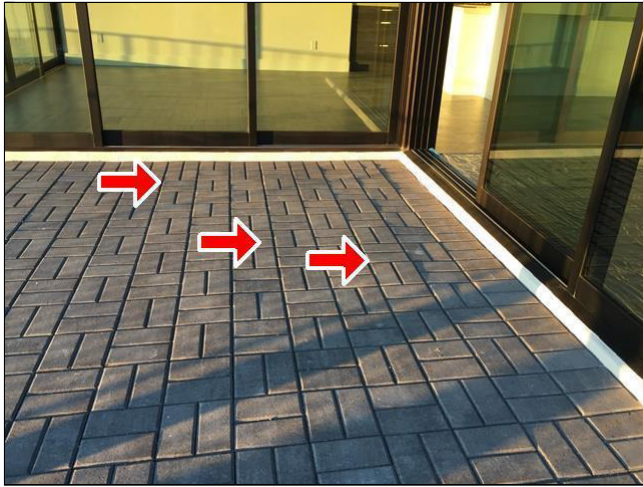
2.3 EXTERIOR DOORS AND SECURITY DOORS

Comments: Inspected

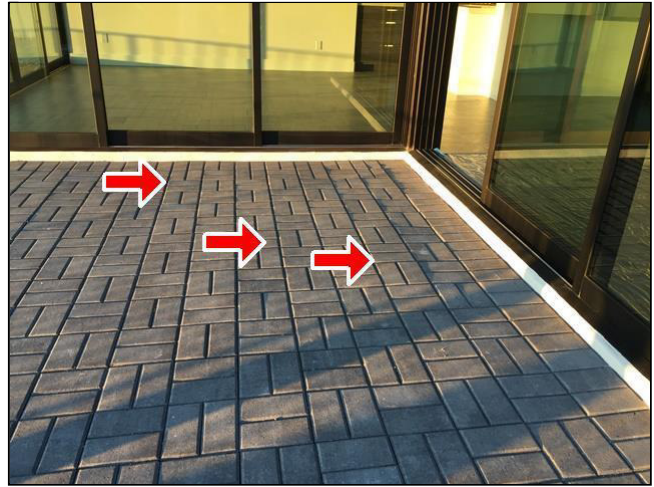
2.4 PATIO / DECK

Comments: Repair or Replace

Improper drainage at rear patio. The pavers at the sliding glass doors are sloped into the building. The photographs depicted are only representative photographs of this finding. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



2.4 Item 1(Picture)

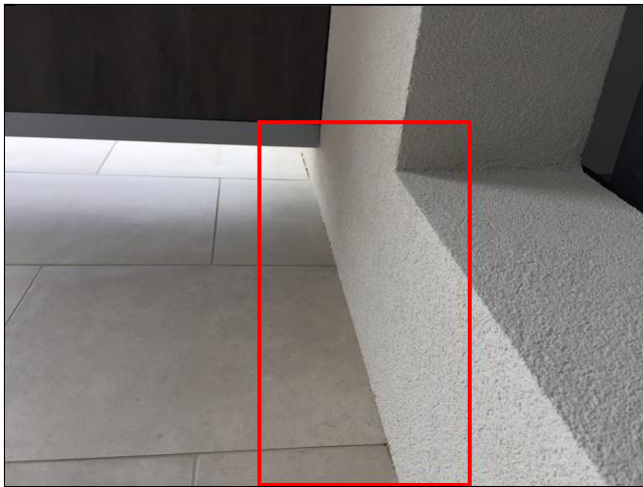


2.4 Item 2(Picture)

2.5 PAINTING / CAULKING / SEALING

Comments: Repair or Replace

General caulking and sealing recommended. Caulk / sealing is needed at several locations around the structure. The photograph depicted is only a representative photograph of this finding. This finding does not conform to building standards and practices in effect at the time of construction or installation. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



2.5 Item 1(Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Vegetation can obscure areas of siding and other exterior components. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The garage interior was reviewed. Fire rated walls, ceiling, doors, overhead doors, overhead door operators, and the garage slab are commented upon in this section. Positive or informational photographs and findings are disclosed in the overview portion of this section. Any adverse issues are described along with the ramifications and recommended course of action.

This 4 point inspection is at the insurance companies request and is not the entire report. There was no exact criteria list to determine what information the insurance company wanted from the original inspection except for Plumbing, Electrical, Heat/Air conditioning and Roofing. Other deficiencies may exist in this home which could effect value or safety and may not be included in this minimal inspection. It is recommended that the interested party review the entire report.

Styles & Materials

Garage Door Type:

One overhead door
Automatic opener(s)

Garage Door Material:

Light inserts

Electric Eye:

Electric eye reversing mechanism operated.

Pressure / Tension:

Pressure / Tension Reversing Mechanism

Items

3.0 GARAGE CEILING / FIRE RATING

Comments: Inspected

3.1 GARAGE WALLS / FIRE RATING

Comments: Inspected

3.2 GARAGE SLAB / FLOOR

Comments: Inspected

Garage floor paint. The photograph depicted is only a representative photograph of this finding. This is a positive finding.



3.2 Item 1(Picture)

3.3 OCCUPANT DOOR (from garage to interior area)

Comments: Inspected

3.4 SIDE PERSONNEL DOOR

Comments: Not Present

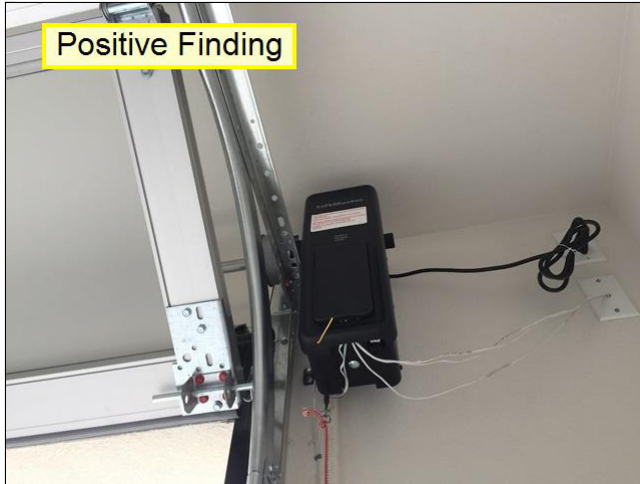
3.5 GARAGE OVERHEAD / VEHICLE DOOR

Comments: Inspected

3.6 VEHICLE DOOR OPERATOR / SAFETY REVERSE

Comments: Inspected

The garage door operator is equipped with two (2) types of safety reversing mechanisms. The first is a pressure tension safety reverse. The second is an electric eye safety reverse. Both of these safety features were reviewed and found to be operating as intended. This is a positive finding.



3.6 Item 1(Picture)



3.6 Item 2(Picture)

3.7 GARAGE MISC / SHELVING

Comments: Not Present

The garage of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed and qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Viewed roof covering from: Drone	Roof Covering: Rubber membrane	Roof Style: Flat
Flashings: Tar / Mineral Flashing	Chimney (exterior): No Chimney Installed	Sky Light(s): One
Rain gutters / drains: Scupper drains		

Items

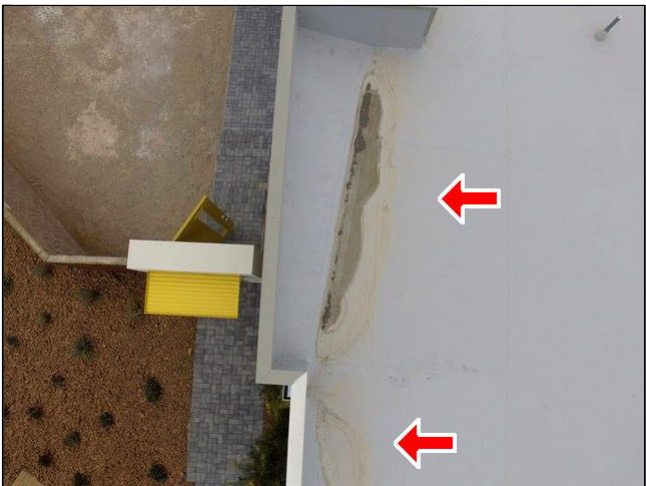
4.0 ROOF / DECK FLOOR

Comments: Repair or Replace

Pooling water appears to be observed on roof. Refer to photographs for further clarification. Nevada Contractors board states that " Roof sheathing should have a maximum deflection of 3/8 inch in 2 feet." This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



4.0 Item 1(Picture)



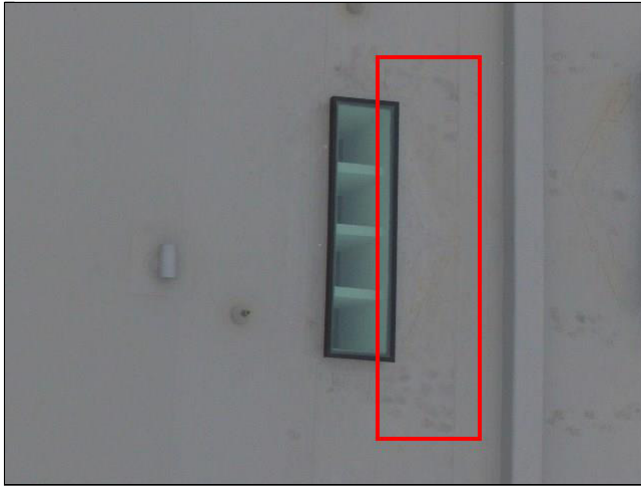
4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)



4.0 Item 5(Picture)

4.1 JACKS / FLASHING

Comments: Inspected

4.2 DRAINS / GUTTERS

Comments: Inspected

4.3 CHIMNEY CHASE / CAPS

Comments: Inspected

4.4 EAVES / SOFFITS

Comments: Inspected

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Energy Source:	Heat Type:	Number of Heat Systems (excluding wood):
Natural gas	Natural gas	Two
Electric	Forced air	
Ductwork:	Filter Type:	Filter Size:
Flexible ducting	Disposable	20x20
Insulated		20x25
		(Four filters)
Cooling Equipment Type:	Cooling Equipment Energy Source:	Number of AC Units:
Forced air	Electric	Two
Split system		
Dual Pack / Gas Pack		
A / C Differential Temperature Unit One:	A / C Differential Temperature Unit #2:	Fireplaces:
Ambient external temperature did not allow testing.	Ambient external temperature did not allow testing.	Gas Lighter Log
		Face screen
		Ventless

Items

5.0 HEATING / COOLING UNITS

Comments: Inspected

(1) The client is advised that the heating system(s) for the home was reviewed and the system operated properly when utilizing normal operating controls. This is deemed to be a positive finding.



5.0 Item 1(Picture)



5.0 Item 2(Picture)

(2) Air conditioning testing limited. The client is advised that with exterior temperatures less than 65 degrees placing the air conditioner into normal operation can freeze the compressor and cause serious damage to the entire system. Operation of the systems at temperatures below 65 is advised against by many HVAC manufacturers. Below 65 degrees Fahrenheit the compressor(s) do not operate efficiently and often the temperature readings are inaccurate and representative of actual system operation. Your inspector briefly ran the system as a benchmark to show that the compressor activated and operated.



5.0 Item 3(Picture)

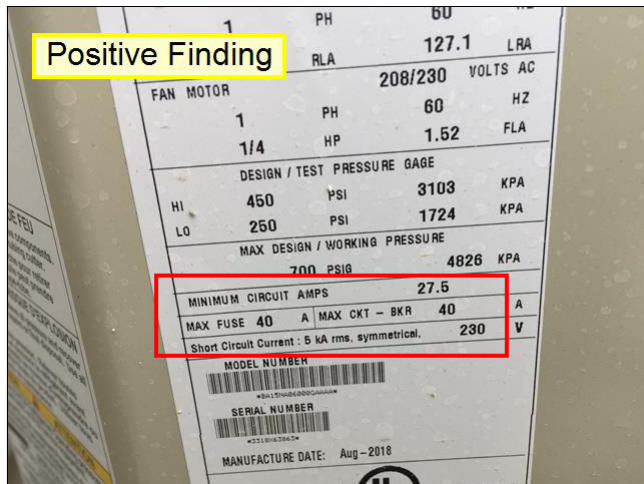


5.0 Item 4(Picture)

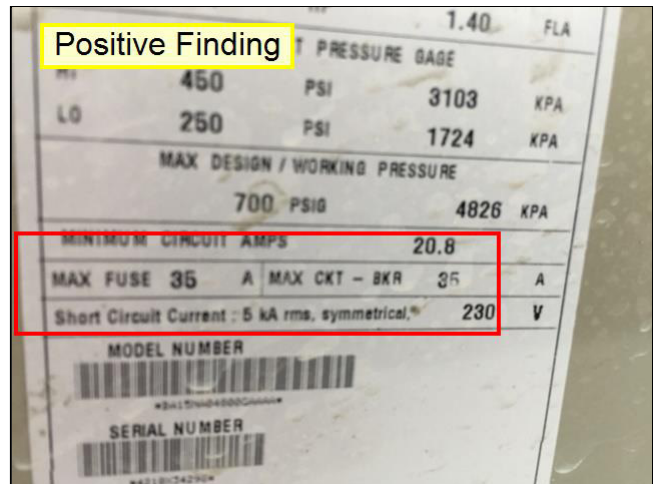
5.1 THERMOSTATS / ELECTRICAL

Comments: Inspected

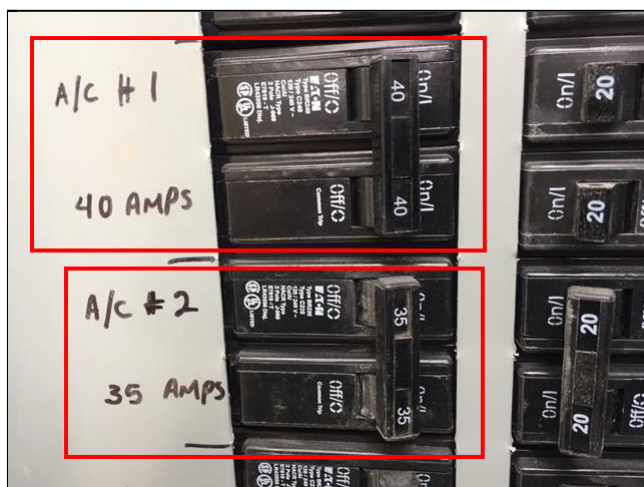
The electrical circuit breakers for the HVAC system condenser / compressor units were reviewed and compared against the size required to be installed as delineated by the manufacturers name plate data placard. It is very common to discover oversized breakers on air conditioner condenser / compressor units in Las Vegas. When this condition occurs it voids, not only the manufacturers warranty but any after-market home warranty. Therefore we inspect for this issue to provide our clients with an advanced level of protection. The breakers on the unit(s) in this system were verified to be properly sized. This is a positive finding.



5.1 Item 1(Picture)



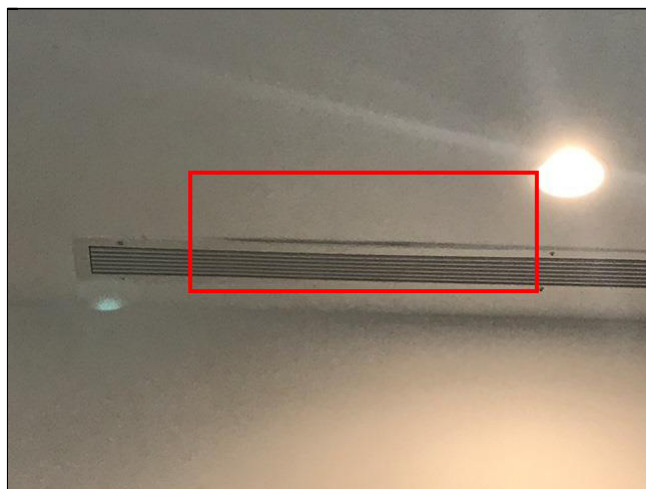
5.1 Item 2(Picture)



5.1 Item 3(Picture)

5.2 DUCTS / REGISTERS / DISTRIBUTION**Comments:** Repair or Replace

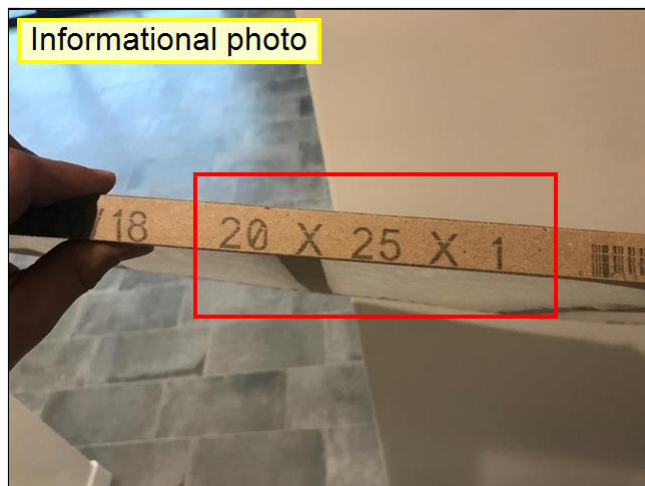
Register damaged. This condition was observed at the entry way. Refer to the photograph for further clarification. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



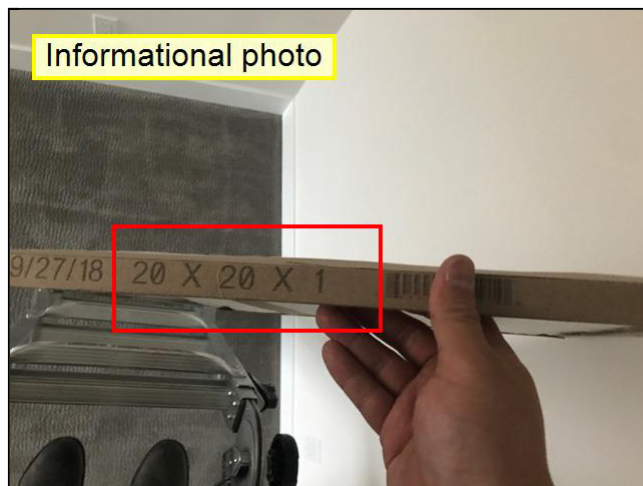
5.2 Item 1(Picture)

5.3 CONDENSER / COMPRESSOR UNITS**Comments:** Inspected**5.4 AIR FILTERS / RETURNS****Comments:** Inspected

Filter size observed. This condition was observed both units in the home. The client is advised that the HVAC system for the home uses disposable filters. These filters should be replaced monthly. The correctly sized filter for the HVAC system is 20 x 20 x 1 and 20 x 25 x 1. 4 filter(s) required for a complete change out.



5.4 Item 1(Picture)



5.4 Item 2(Picture)

5.5 CHIMNEY INTERIOR / FLUE / VENTS**Comments:** Inspected**5.6 GAS FIREPLACES****Comments:** Inspected

Fireplace operation verified. This condition was observed at both fireplaces in the home. The fireplace in the home was operated with no adverse conditions observed. The photograph depicted is only a representative photograph of the finding. This is deemed to be a positive finding.



5.6 Item 1(Picture)



5.6 Item 2(Picture)

5.8 CONDENSATE DRAINS

Comments: Inspected

5.9 FUEL LINE PIPING / SUPPLY

Comments: Safety Concern

Strong gas odor observed in the attic of the garage. Caution is advised!! It is recommended that South West gas be called and the source of the odor be investigated!!



5.9 Item 1(Picture)

5.10 EVAPORATIVE COOLER(S) / EXHAUST FANS

Comments: Inspected

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Water Source:

Public

Water Filters:

Water softener loop

Plumbing Water Supply (into home):

Copper

Plumbing Water Distribution (inside home):

Copper

Washer Drain Size:

2" Diameter

Plumbing Waste / drains:

ABS

Water Heater Power Source:

Gas (quick recovery)

Water Heater Capacity:

Tankless

Water Heater Location:

Garage

Water Heater Age:

Unknown

Items

6.0 WATER HEATERS

Comments: Inspected

(1) Tankless water heater observed. This condition was observed in the garage. Refer to photograph for further clarification. This is a positive finding.



6.0 Item 1(Picture)

(2) A circulating pump was observed in the garage. Refer to photograph for further clarification. This device is intended to provide hot water to features faster and reduce water waste. This is deemed to be a positive finding.



6.0 Item 2(Picture)

6.1 TEMPERATURE PRESSURE RELIEF

Comments: Inspected

6.2 GAS / OIL SUPPLY LINES / PIPING / VALVES

Comments: Inspected

6.3 WATER SUPPLY PIPING / VALVES

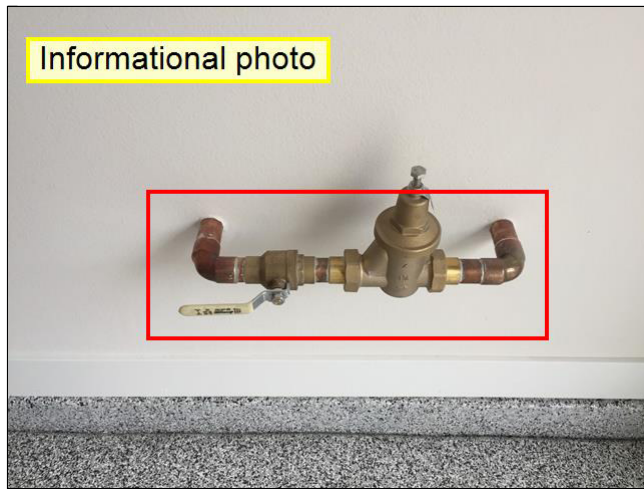
Comments: Inspected

(1) Water meter reviewed. The client is advised that one of the first steps taken in the inspection is to mark and observed the flow indicator on the water meter for movement. Movement when all of the plumbing fixtures in the home are shut off is sometimes an indicator of a leak. No movement was observed at this meter. This is a positive Finding.



6.3 Item 1(Picture)

(2) The water shutoff was located in the garage. Refer to the photograph for further clarification. This is an informational finding.



6.3 Item 2(Picture)

(3) Soft water loop present. This condition was observed in the garage. Refer to the photograph for further clarification. This is deemed to be a positive finding.

The client is advised that water softener systems can range in cost between \$500 and \$8000 with little difference provided with regards to water quality. Experiences shown that the Home Depot has a low salt use, high-efficiency unit called the water boss that is relatively inexpensive to purchase and maintain. Be sure to verify that any company you are considering using to install the components with the better Better Business Bureau of Southern Nevada (702-320-4500) and verify the company's reliability report. Client is further advised research licensing status of any contractor that may be retained to install the water softener with the state of Nevada contractors board 702-486-1100.



6.3 Item 3(Picture)

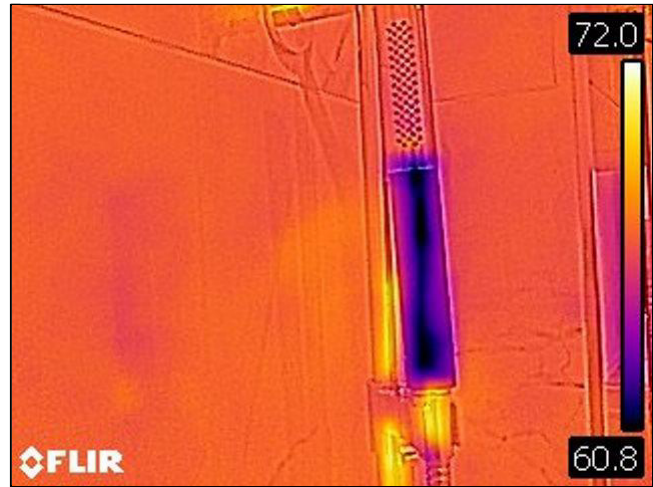
6.4 FAUCETS / VALVES

Comments: Repair or Replace

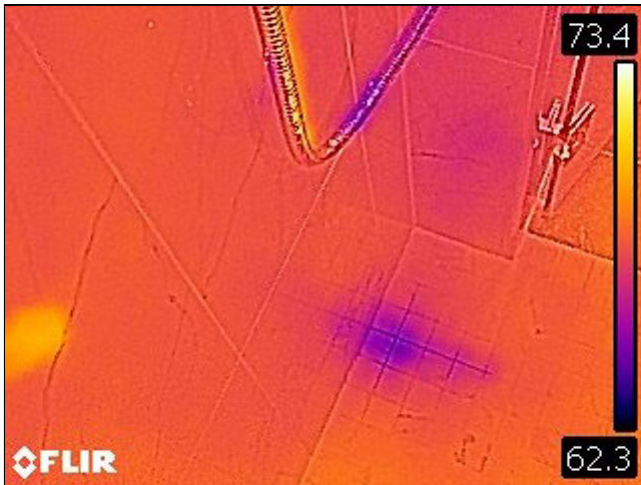
Water faucet leaking. This condition was observed at the hand wand in the master shower. Refer to the photographs for further clarification. Left uncorrected further accelerated deterioration will occur. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



6.4 Item 1(Picture)



6.4 Item 2(Picture)



6.4 Item 3(Picture)



6.4 Item 4(Picture)

6.5 BACKFLOW PREVENTION / REGULATORS

Comments: Inspected

6.6 SEWER / DRAINS / VENTS

Comments: Inspected

6.7 LAUNDRY / MECHANICS SINKS / CLOTHES WASHER PANS

Comments: Inspected

6.8 WATER SOFTENER / WATER TREATMENT DEVICES

Comments: Not Present

6.9 ACCESS / MODIFICATIONS

Comments: Not Present

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Service entrance conductors:	Main Panel Location:	Sub Panel Location:
Under ground service lateral	On the exterior of the structure	In the garage
Aluminum		
220 volts		
Panel capacity:	Distribution:	Wiring Methods:
200 AMP	Circuit breakers	Romex
	Copper	
	Aluminum	
	Non metallic sheathed cable (Romex)	
	Armored cable (commonly called "BX")	
Grounding:	Ground fault circuit interrupters (GFCI):	Arc fault circuit interrupter (AFCI):
Unable to determine	Location in conformance with age of construction	Present and tested

Items

7.0 SERVICE LINES / ENTRANCE CONDUCTOR / WEATHER HEADS

Comments: Not Present

7.1 MAIN PANEL / SUB PANEL / BREAKERS / FUSES

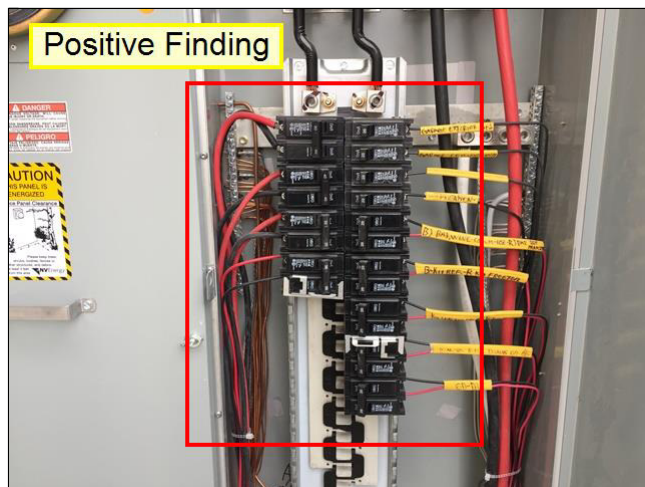
Comments: Repair of Replace

(1) Evidence of Electrical Flash in Sub Panel. This condition was observed in the garage. Refer to photograph for further clarification. It appears that there was an electrical short in the sub panel and the protective barrier has been damaged. It is recommended that this finding and all associated components be reviewed and corrected as needed by the primary contractor or a Licensed and Qualified Electrical Contractor.



7.1 Item 1(Picture)

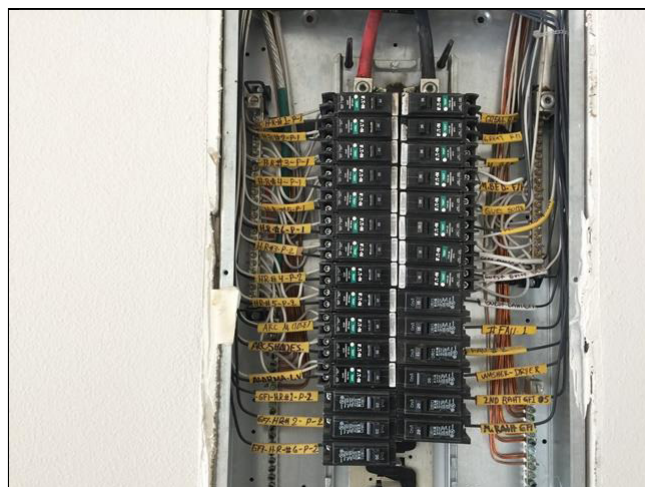
(2) Electrical panel is properly bonded and grounded. The electrical panel interior was fully reviewed for proper bonding and grounding. This is a positive finding.



7.1 Item 2(Picture)



7.1 Item 3(Picture)



7.1 Item 4(Picture)

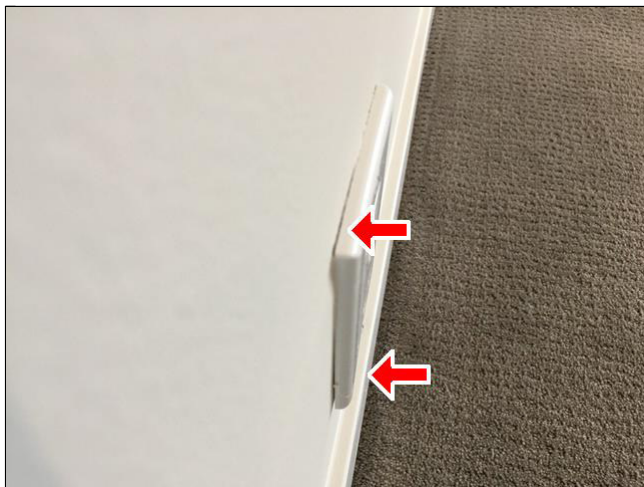
7.2 CIRCUIT WIRING / CONDUIT / JUNCTION BOXES

Comments: Inspected

7.3 LIGHT FIXTURES / RECEPTACLES / SWITCHES

Comments: Repair or Replace

(1) ELECTRICAL RECEPTACLES OR SWITCHES STICK OUT FROM WALL SURFACE. This condition was observed in several locations. The photographs depicted are only representative photographs of this finding, Performance Guideline: All devices should fit snugly against the wall. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



7.3 Item 1(Picture)

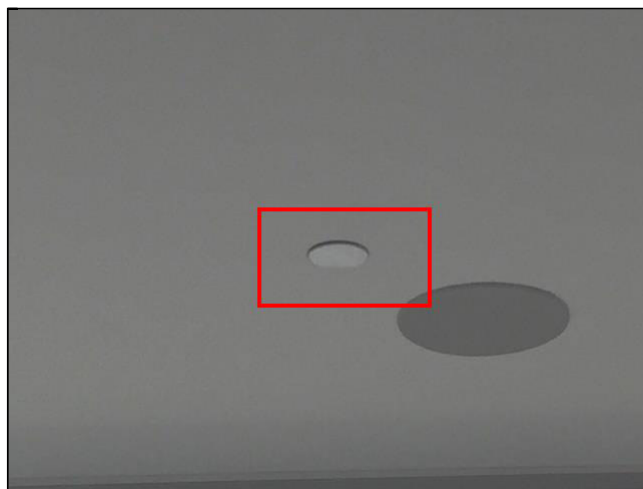


7.3 Item 2(Picture)

(2) Fire sprinkler cap gaped at ceiling. This condition was observed in several locations. The photographs depicted are only representative photographs of this finding. Performance guidelines: All devices should fit snugly against wall ceiling. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor



7.3 Item 3(Picture)



7.3 Item 4(Picture)

(3) Light fixture not secure. This condition was located at several locations around the structure. The photographs depicted are only representative photographs of this finding. Recessed light is not flush with the ceiling.. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



7.3 Item 5(Picture)

7.4 GROUNDING / GFCI / AFCI

Comments: Inspected

7.5 DOORBELL / 24 VOLT SYSTEMS / TELEPHONE

Comments: Inspected

7.6 SMOKE DETECTORS / 02 DETECTORS

Comments: Inspected

7.7 SURVEILLANCE / ALARM SYSTEMS / MISC.

Comments: Not Reviewed

7.8 PHOTOVOLTAIC SOLAR ELECTRIC SYSTEM INSTALLED

Comments: Not Present

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Bathroom

The bathroom's of the home were reviewed and commented upon in this section. Any positive or benchmark photographs will be outlined in the overview portion of this section. The toilet, showers, tubs, sinks and any other plumbing fixtures were reviewed for proper operation. Any adverse issues are described below with the location, ramifications and a recommended course of action or path of resolution provided. Items such as leaking toilet flapper valves or flush towers, caulking, and sealing are normal recurring maintenance issues and are not included in the summary of the report.

Styles & Materials

Shower type:

Tub/shower combination
Tile shower floor(s)
Tub no shower

Bath tub type:

Fiberglass

Enclosures:

Glass door(s)

Ventilation:

Exhaust fan
No ventilation present

Plumbing:

Washerless faucets
Diverter valve(s)
Pop-up stopper
Angle stop valves

Counter tops:

Granite tile

Wash basins:

Vitreous china
Let-in

Flooring / sub floor:

Tile
Concrete sub floor

Items

8.0 TUB / SHOWER

Comments: Repair or Replace

Curbless shower with no shower door. This condition was observed in the secondary bathroom. Refer to photograph for further clarification. There should be a shower door that goes to the floor with a sweep to help deflect water back into the shower for proper drainage. If there is to be a rod and curtain there should be a curb. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



8.0 Item 1(Picture)

8.1 TOILET / BIDET / URINAL

Comments: Inspected

8.2 SINKS / VANITY / MIRROR

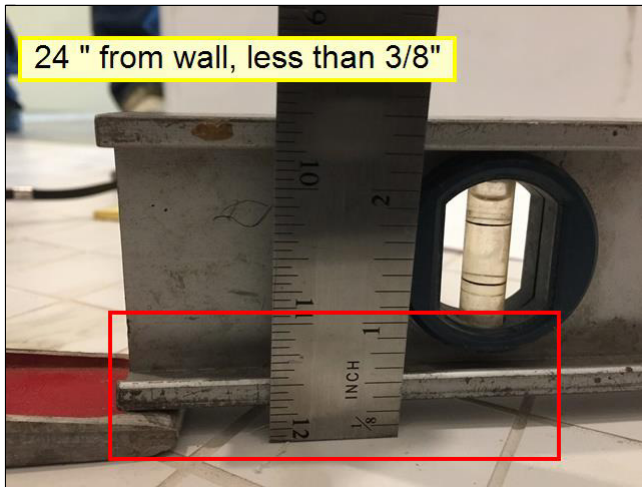
Comments: Inspected

8.3 CEILING / WALL / SURROUND / FLOORING

Comments: Repair or Replace

(1) Bathroom floor amiss. This condition was observed in the master bathroom shower. The photographs depicted are only representative photographs of this finding. The bathroom floor is improperly sloped. Standard building practices call for a minimum grade of 1/4 inch per lineal foot and a maximum grade of 1/2 inch per lineal foot. This Finding does

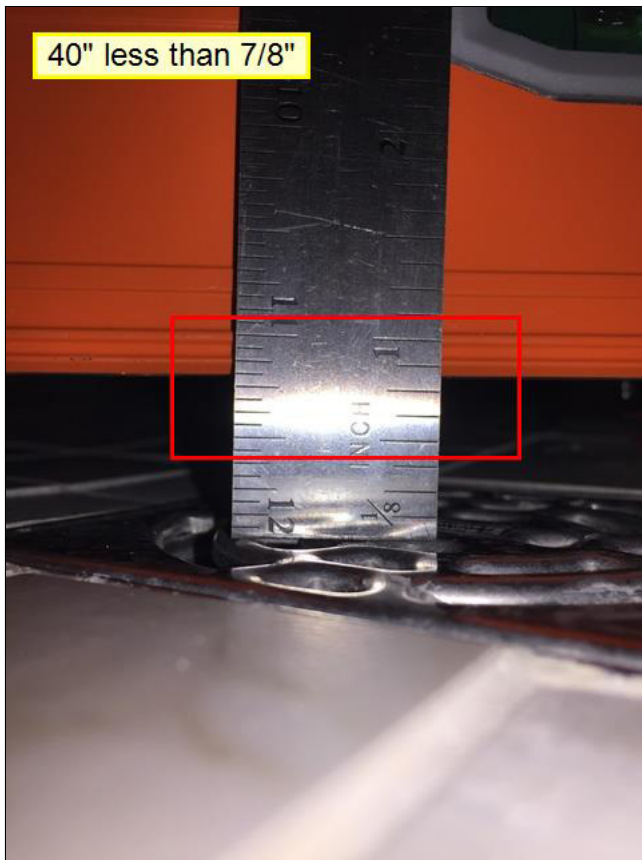
not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



8.3 Item 1(Picture)



8.3 Item 2(Picture)

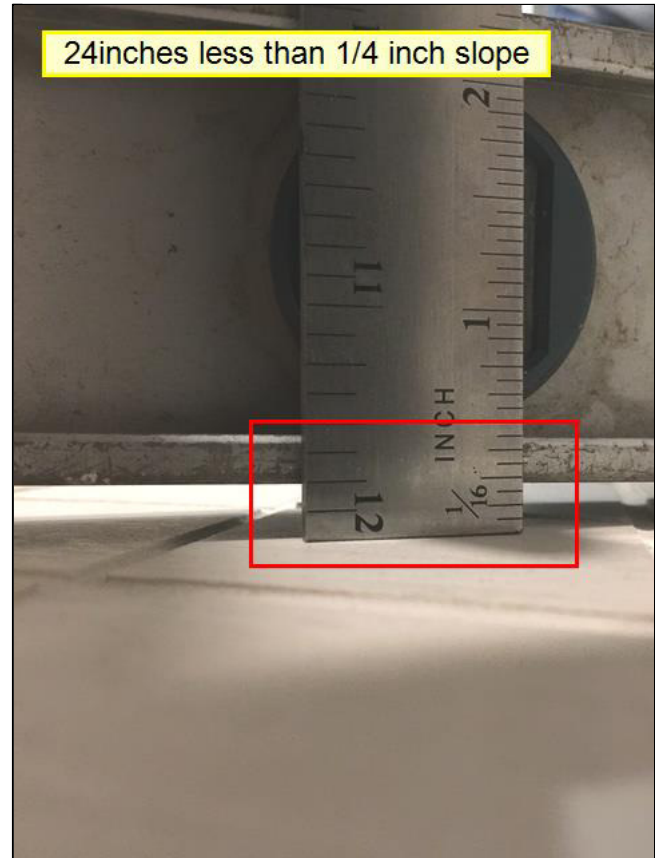


8.3 Item 3(Picture)

(2) Bathroom floor amiss. This condition was observed in the secondary bathroom shower. The photographs depicted are only representative photographs of this finding. The bathroom floor is improperly sloped. Standard building practices call for a minimum grade of 1/4 inch per lineal foot and a maximum grade of 1/2 inch per lineal foot. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



8.3 Item 4(Picture)



8.3 Item 5(Picture)

(3) Recessed shampoo / soap shelf in both master and secondary bathroom showers amiss. The recessed shelving area is improperly sloped. The photographs depicted are only representative photographs of this finding. The shelf should be sloped to shed water versus holding against the wall. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



8.3 Item 6(Picture)



8.3 Item 7(Picture)



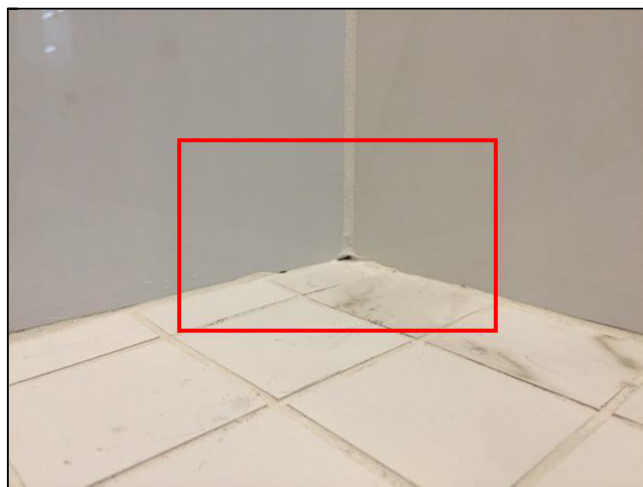
8.3 Item 8(Picture)

8.4 TOWEL / PAPER HOLDERS / MISC**Comments:** Inspected**8.5 Caulking****Comments:** Repair or Replace

Grout amiss. This condition was observed in both bathrooms. The photographs depicted are only a representation of this finding. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



8.5 Item 1(Picture)



8.5 Item 2(Picture)

8.6 Ventilation**Comments:** Inspected**8.7 SAUNA / STEAM ROOM****Comments:** Not Present

The client is advised that this is a visual inspection service. Issues that are not clearly visible (latent issues) may exist and may not be discovered in the scope of this inspection service. Bathrooms are an area of high moisture and are prone to water intrusion issues. They are one of the most common places where mold is found. Unless there are indicators present the bathroom could have had a one-time leak event that occurred such as an overflowing tub, sink, or toilet and this event cannot be ascertained. Akamai Structural inspectors all carry infrared thermal imaging equipment and are able to discover any active moisture that would be present. Caulking and sealing of tub / shower surrounds, toilets, and sinks are normal recurring maintenance issues and should be incorporated into the preventive maintenance plan for the home. For any finding(s) where the inspector has indicated Review or Repair be performed the client is advised to only utilize licensed and qualified contractors.

9. Interior

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Walls and ceilings:	Interior / exterior doors:	Floor Covering(s):
Sheetrock	Weather stripped	Tile
	Deadbolts	Carpet
	Fire resistant door(s)	
	Hollow core	
	Solid	
	Self closing door(s)	
	Metal	
	Wood	
	Hinged	
	Sliding glass door(s)	
Windows:	Window Types:	Cabinetry:
Tested	Single-hung	Laminate
	Thermal/Insulated	
	Low-E	
	Casement	
	Fixed	
Countertop:	Appertenances (Present but not reviewed):	
Granite	Intruder alarm system	
	Home theater speakers	
	Fire Sprinkler System	

Items

9.0 CEILINGS / WALLS

Comments: Repair or Replace

(1) Interior trim gaped This condition was observed in several locations in the home The photographs depicted are only representative photographs of this finding. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)

(2) CEILINGS THAT ARE OUT OF LEVEL OR SQUARE

Performance Guideline: Unevenness of floors or ceilings should not exceed 1/8 inch in 4 feet and should be level within 1/4 inch in 10 feet. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.

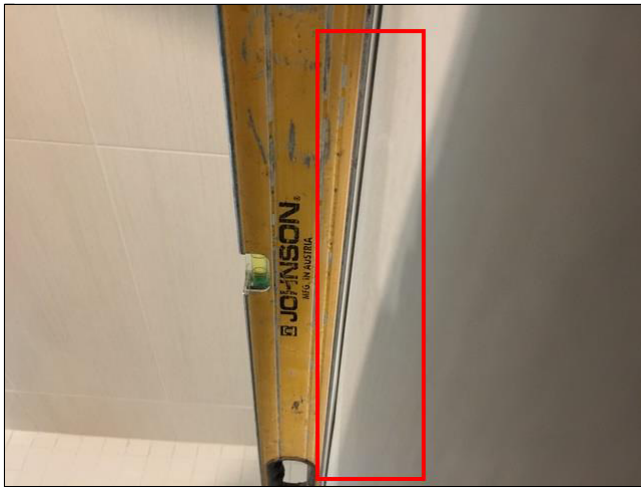


9.0 Item 4(Picture)



9.0 Item 5(Picture)

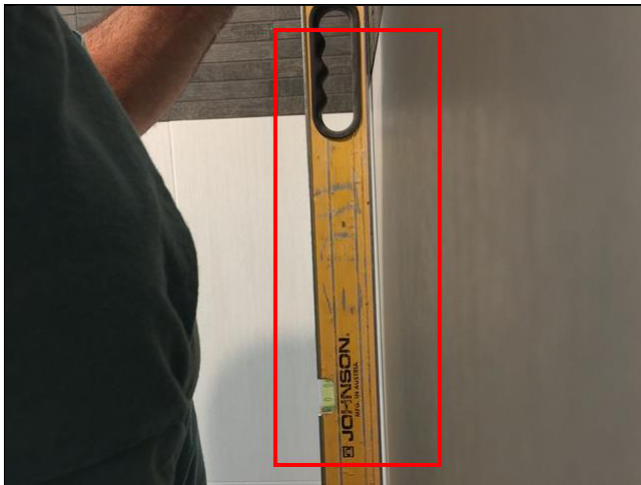
(3) Walls out of plumb. This condition was observed in several areas of the home. The photographs depicted are only a representation of this finding. United Facilities Guide Specification (UFGS) suggests a tolerance of 1/4" in 8' for plumbness of studs when finishes such as wallboard, plaster or ceramic tile set in a mortar bed are used. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



9.0 Item 6(Picture)



9.0 Item 7(Picture)



9.0 Item 8(Picture)



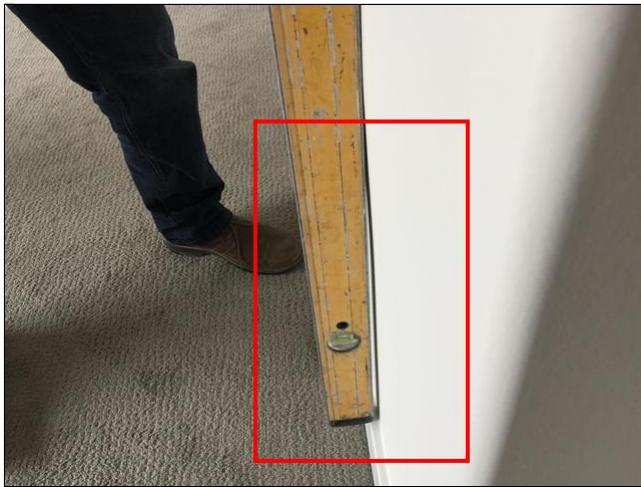
9.0 Item 9(Picture)



9.0 Item 10(Picture)



9.0 Item 11(Picture)



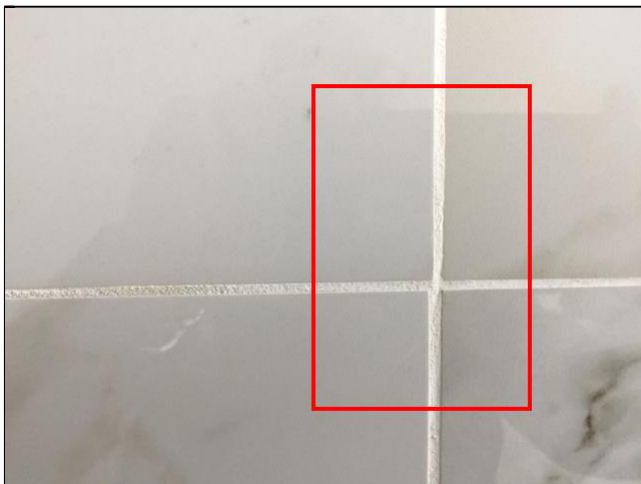
9.0 Item 12(Picture)

(4) Wall appears improperly finished. This condition was observed in the living room. Refer to the photograph for further clarification. In accordance with Nevada State Contractors Board Performance Guidelines texture should present a uniform appearance when viewed under natural lighting conditions at a distance of 5 feet. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



9.0 Item 13(Picture)

(5) Tile amiss. This condition was observed in several locations. The photographs depicted are only representative photographs of this finding. Tile chipped, grout lines not straight, and corner finishes questionable. This finding does not conform to building standards and practices in effect at the time of construction or installation. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



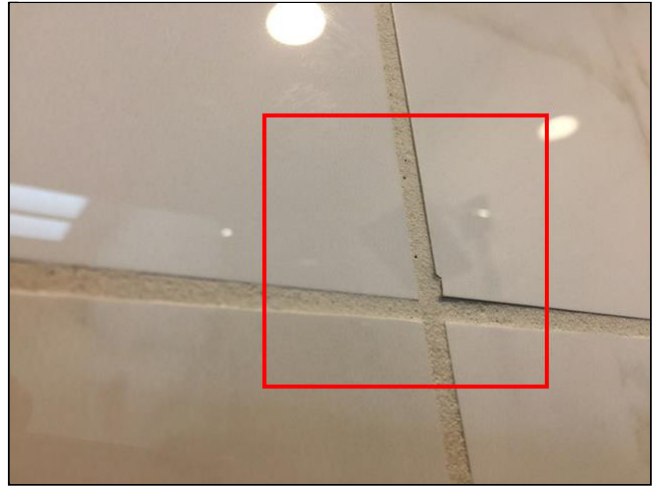
9.0 Item 14(Picture)



9.0 Item 15(Picture)



9.0 Item 16(Picture)



9.0 Item 17(Picture)



9.0 Item 18(Picture)

9.1 FLOORING

Comments: Repair or Replace

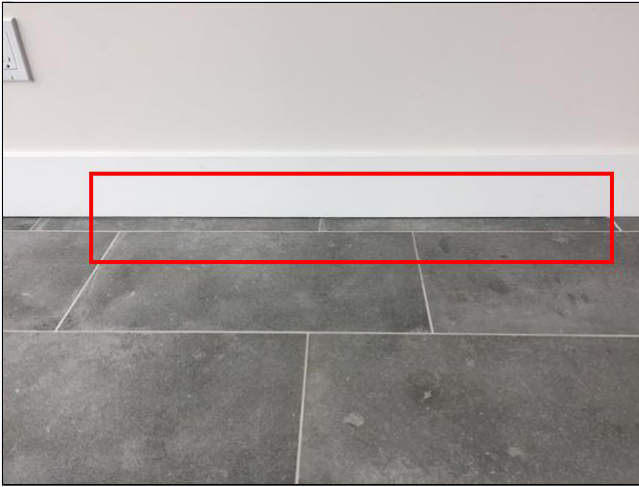
Tile uneven. This condition was observed in several locations in the home. The photographs depicted are only representative photographs of this finding. Tile should not exceed the manufacturer's recommendations or 1/16 inch lippage in absence of manufacturer's recommendations. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



9.1 Item 1(Picture)



9.1 Item 2(Picture)



9.1 Item 3(Picture)

9.2 DOORS

Comments: Inspected

9.3 WINDOWS

Comments: Repair of Replace

Low-E glazing anomaly noted. This condition was observed in the living room. The window has been installed backwards which will actually allow heat to pour into the home. Refer to the photograph for further clarification. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.

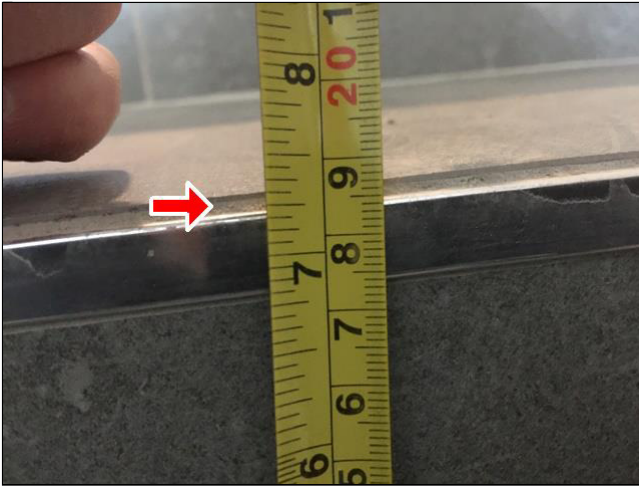


9.3 Item 1(Picture)

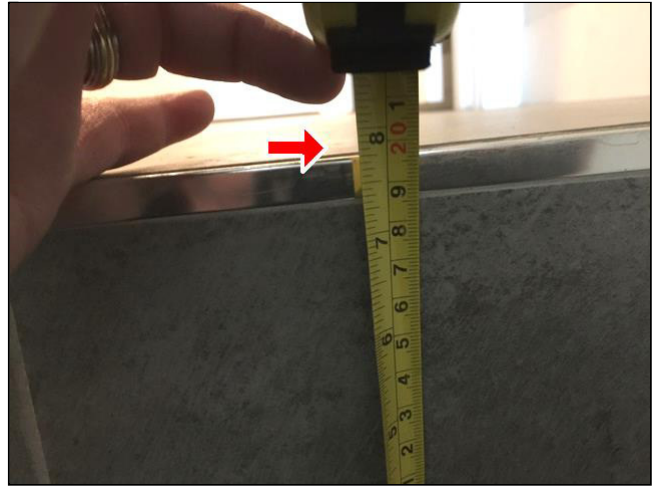
9.4 STAIRWAYS / RAILINGS / BALCONIES

Comments: Repair of Replace

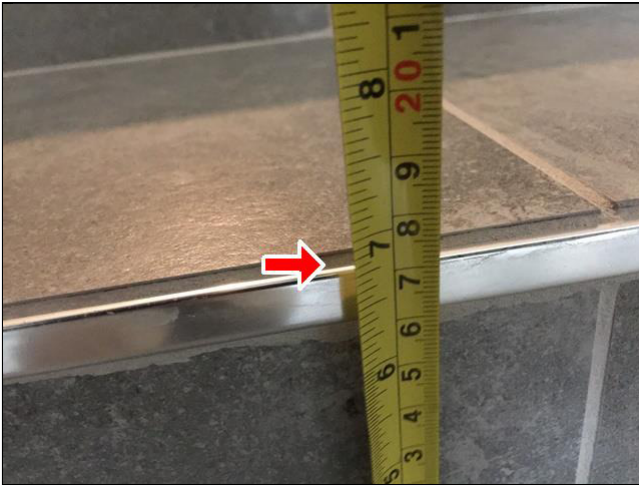
Stairs exceed maximum height / rise. This condition was observed on both sets of stairs. Refer to photographs for further clarification. The maximum height for a rise is 73/4 inches and the maximum difference between the highest and shortest rise is 3/8 inch according to the International Residential Code. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



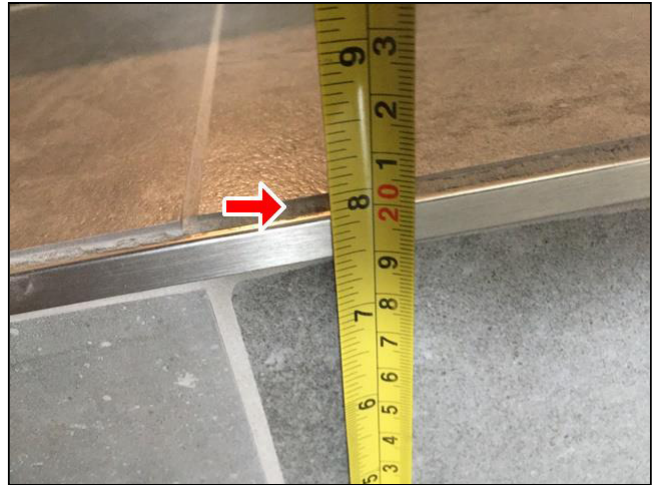
9.4 Item 1(Picture)



9.4 Item 2(Picture)



9.4 Item 3(Picture)



9.4 Item 4(Picture)



9.4 Item 5(Picture)



9.4 Item 6(Picture)

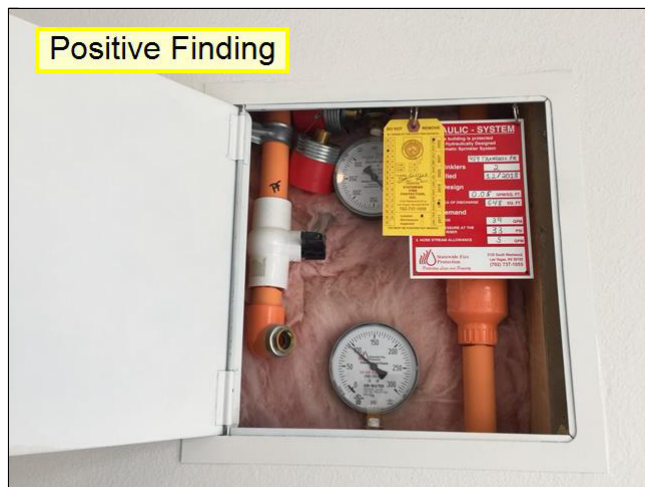
9.5 COUNTERS / CABINETS

Comments: Inspected

9.6 MISC COMPONENTS

Comments: Inspected

The client is advised that this home has a fire sprinkler system installed. Be sure to notify your insurance provider. Many insurance companies provide a discount when this system is installed.



Positive Finding

9.6 Item 1(Picture)

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Kitchen

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

Styles & Materials

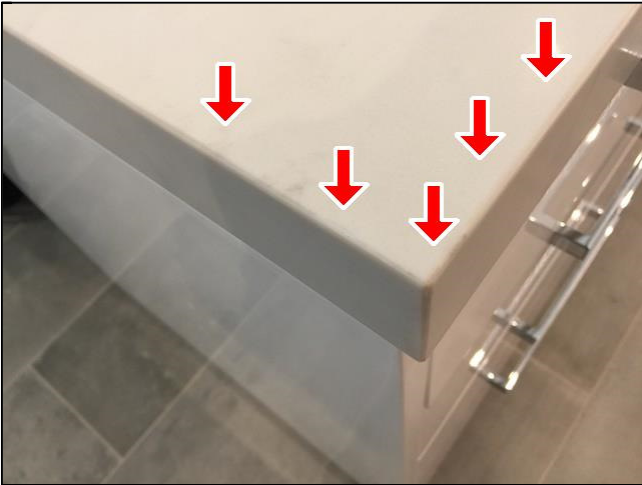
Kitchen range: Gas	Range hood: Vented to exterior	Oven: Gas Self cleaning Convection
Microwave: Built-in	Dishwasher: Present	Garbage disposal: Present
Trash compactor: None	Built-in Refrigerator: Electric	

Items

10.0 COUNTERTOPS / CABINETRY

Comments: Repair or Replace

Counter top amiss. This condition was observed in the kitchen.. The photograph depicted is only a representative photograph of this finding. This finding does not conform to building standards and practices in effect at the time of construction or installation. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



10.0 Item 1(Picture)



10.0 Item 2(Picture)

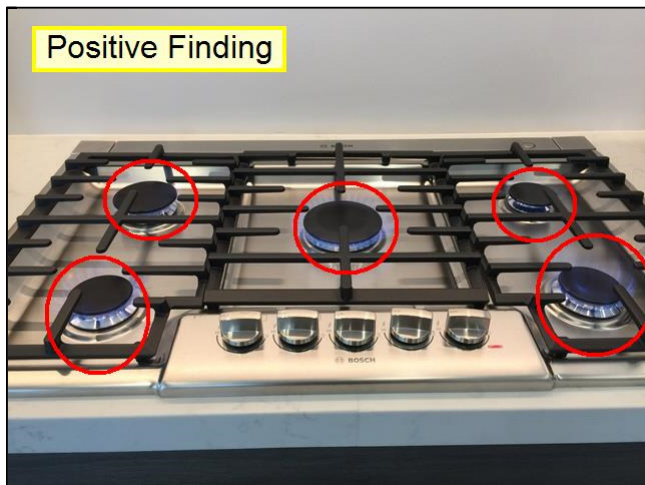


10.0 Item 3(Picture)

10.1 RANGE / OVEN / COOK TOP

Comments: Inspected

(1) Kitchen range burners operation verified. All of the burners on the kitchen range were tested. All of the burners ignited properly. This is a positive finding.



10.1 Item 1(Picture)

(2) Oven temperature verified. The oven, when tested at 350 degrees Fahrenheit, heated to 363 degrees Fahrenheit. Allowable tolerance is 350 +/- 25. The oven is well within allowable tolerance. This is a positive photo.



10.1 Item 2(Picture)

10.2

REFRIGERATOR**Comments:** Inspected

Refrigerator / freezer temperatures verified. The refrigerator and freezer temperatures were measured and appear to be within the acceptable ranges. The wine cooler, bar refrigerator and bar ice maker were all within industry standards. These are positive photographs.



10.2 Item 1(Picture)



10.2 Item 2(Picture)



10.2 Item 3(Picture)



10.2 Item 4(Picture)



10.2 Item 5(Picture)

10.3 GFCI'S / ELECTRICAL**Comments:** Inspected

10.4 RANGE HOOD

Comments: Inspected

10.5 DISHWASHER

Comments: Inspected

10.6 FOOD WASTE / GARBAGE DISPOSAL

Comments: Inspected

10.7 MICROWAVE OVEN

Comments: Inspected

10.8 TRASH COMPACTOR

Comments: Not Present

10.9 SINK(S) / FAUCET(S)

Comments: Inspected

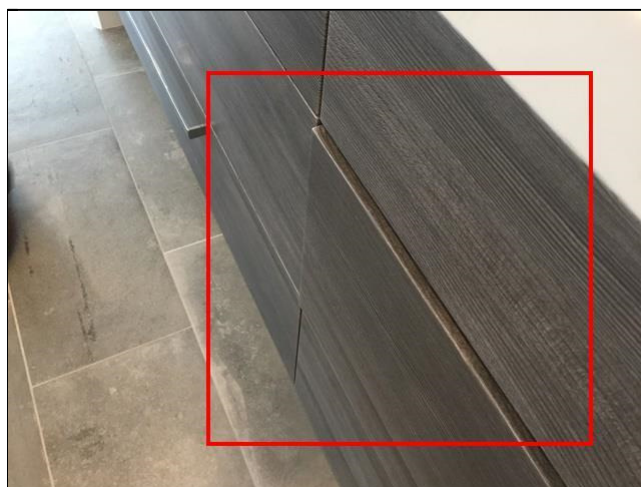
10.10 CABINETRY

Comments: Repair of Replace

Cabinetry drawer issue. This condition was observed in several locations in the home. The photographs depicted are only representative photographs of this finding. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices..



10.10 Item 1(Picture)



10.10 Item 2(Picture)

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

11. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:

Unknown

Ventilation:

Soffit Vents

Exhaust Fans:

Fan only

Dryer Power Source:

Gas Connection

Dryer Vent:

Metal

Floor System Insulation:

Unknown (inaccessible)

Items

11.0 INSULATION IN ATTIC

Comments: Not Reviewed

11.1 INSULATION UNDER FLOOR SYSTEM

Comments: Not Present

11.2 VENTILATION OF ATTIC

Comments: Not Reviewed

11.3 VENTING SYSTEMS KITCHEN / ATTIC / BATHROOMS

Comments: Inspected

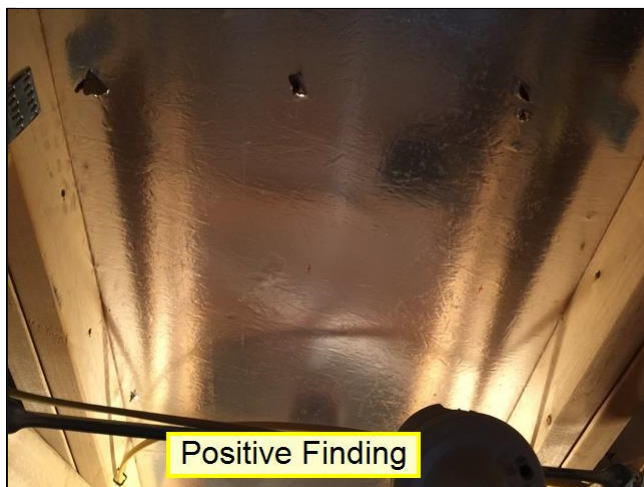
11.4 VENTILATION IN ATTIC

Comments: Not Reviewed

11.5 AIR / VAPOR / MOISTURE

Comments: Inspected

Aluminized roof sheathing (also known as a "radiant barrier") is generally an upgrade offered by home builders. The installation of this product is deemed a positive finding.



11.5 Item 1(Picture)

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

12. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Foundation:

Poured concrete

Floor Structure:

Concrete slab

Wall Structure:

Wood

2 X 4 Wood

Columns or Piers:

Metal posts

Roof Structure:

OSB Sheathing

2 X 8 Rafters

Not visible

Method used to observe attic:

From entry

Attic access location:

In garage

Items

12.0 FOUNDATION / SLABS

Comments: Inspected

12.1 FRAMING / WALLS / ATTIC / CEILINGS

Comments: Inspected

Roof trusses reviewed This condition was observed in the attic. The photograph depicted is only a representative photograph of this finding. The accessible roof trusses and other accessible framing components were reviewed with no adverse findings observed. This is a positive finding.



12.1 Item 1(Picture)

12.2 COLUMNS / POSTS / PIERS

Comments: Inspected

12.3 PESTS / ATTIC CONDITION / FIRE DAMAGE

Comments: Not Present

12.4 ALTERATIONS / ADDITIONS / MODIFICATIONS

Comments: Not Present

12.5 Attic

Comments: Inspected

Attic fire /smoke separation walls observed. This condition was observed in the attic. The walls between the units in the attic are required to be fire rated and sealed. Refer to photographs for further clarification. This is deemed to be a positive finding.



12.5 Item 1(Picture)

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Repair / Replace / Safety Issue Summary



Akamai Structural Inspector LLC

7507 Tamarind Ave
Las Vegas, NV 89147
808-870-3552

Customer

Address

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Grounds

1.1 DECKS / WALKS / PLANTER AREAS/ PARKING AREAS / DRIVEWAYS

Repair or Replace

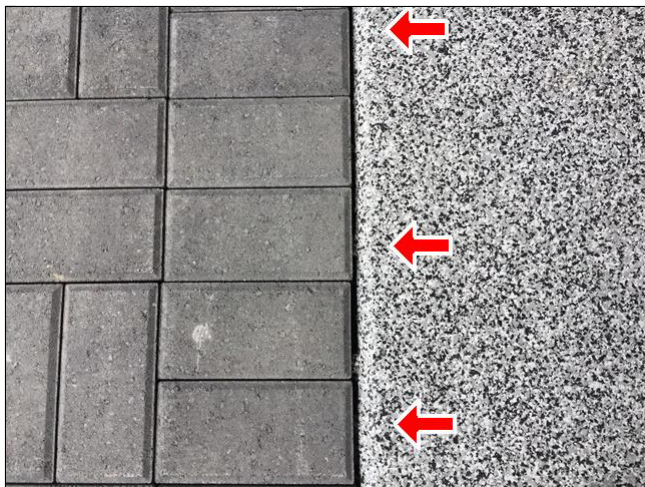
(1) Sand missing at paver blocks. This condition was observed at several locations around the structure. The photographs depicted are only representative photographs of this finding. Acceptable building standards state "Prior to final compaction of the surface, all joints should be filled with kiln dried fine jointing sand. All joints should remain full of jointing sand at all times, with periodic checking and re-sanding carried out where necessary." It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)



1.1 Item 4(Picture)



1.1 Item 5(Picture)

(2) Concrete cracks/damage observed. This condition was observed at the front of the property. The photographs depicted are only representative photographs of this finding. Left uncorrected this condition can result in accelerated deterioration. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. " Concrete should not deteriorate to the extent that the aggregate is exposed or the aesthetics are destroyed under normal use and weather conditions." It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



1.1 Item 6(Picture)



1.1 Item 7(Picture)

(3) Settling of paver blocks. This condition was observed at the front walkway and the rear patio. Refer to the photographs for further clarification. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. Some settling of the masonry driveway / walkway should be expected. Settling or heaving in excess of a 1/4 inch is unacceptable. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.

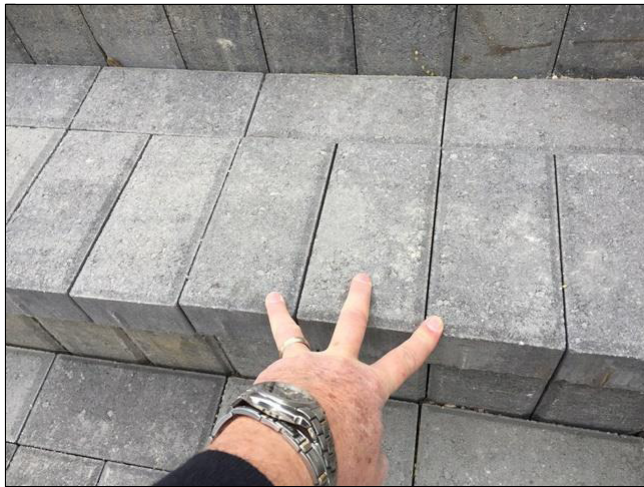


1.1 Item 8(Picture)



1.1 Item 9(Picture)

(4) Paver blocks loose. This condition was observed on the front walkway. The moving pavers can pose a trip hazard. This finding does not conform to building standards and practices in effect at the time of construction or installation. The photograph depicted is only a representative photographs of this finding. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



1.1 Item 10(Picture)

1.5 IRRIGATION SYSTEM PIPING

Repair or Replace

Irrigation pipeline unprotected where could be damaged, This condition was located in the court yard. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



1.5 Item 1(Picture)

1.6 GROUNDS LIGHTING / ELECTRICAL

Repair of Replace

Landscaping / grounds lighting fixtures inoperative. This condition was observed on the front walkway. Refer to the photograph for further clarification. . This could be a faulty light bulb or the system may be inoperative. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



1.6 Item 1(Picture)

2. Exterior

2.0 SIDING

Repair of Replace

Siding amiss. This condition was observed on the South side of the structure. The photograph depicted is only a representative photograph of this finding. In accordance with Residential Construction Performance Standards stucco siding is required to present a uniform appearance when viewed under normal lighting conditions from a distance of 5 feet. The photographs depicted are only representative of this finding. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.

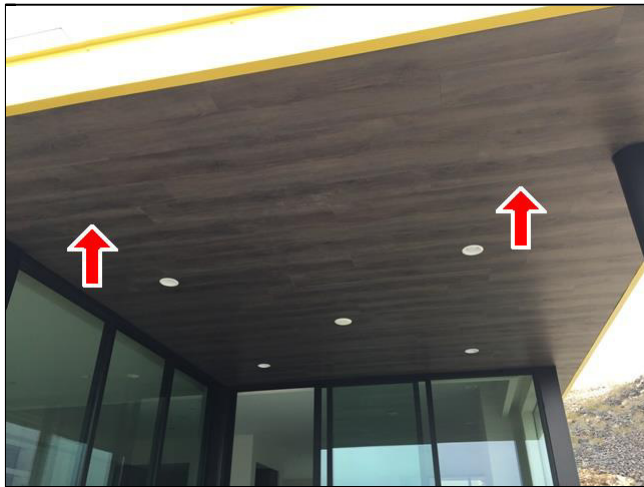


2.0 Item 1(Picture)

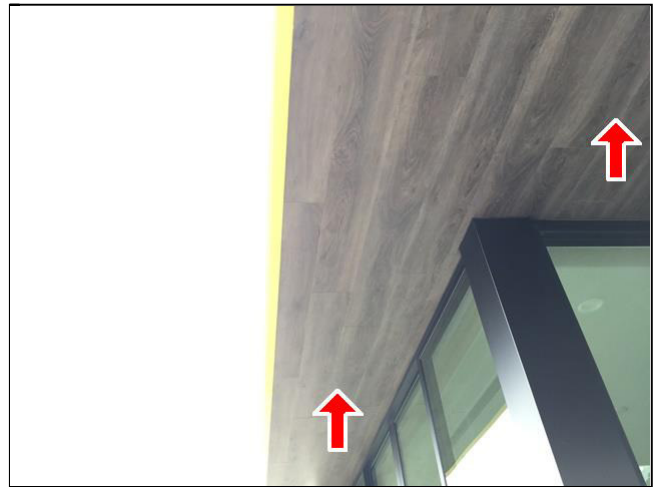
2.1 SOFFITS / TRIMS

Repair or Replace

Vinyl laminate flooring use in soffit questionable. Refer to photographs for further clarification. Many manufactures take the stance that laminate flooring is not intended for outdoor use. There are some 'weather-resistant' laminates on the market, however most laminate floors are made strictly for indoor use. The flooring would warp and rapidly get damaged under changing weather conditions and would not last very long. Vinyl floor can be used in an outdoor, temperature controlled environment. This means that you can install vinyl flooring in a sun room, enclosed porch, or any other "outdoor" space where you can control the heat and cold. The manufacture of the product should be consulted as to the use in this manner and the installation instructions should be reviewed as to installation.



2.1 Item 1(Picture)



2.1 Item 2(Picture)

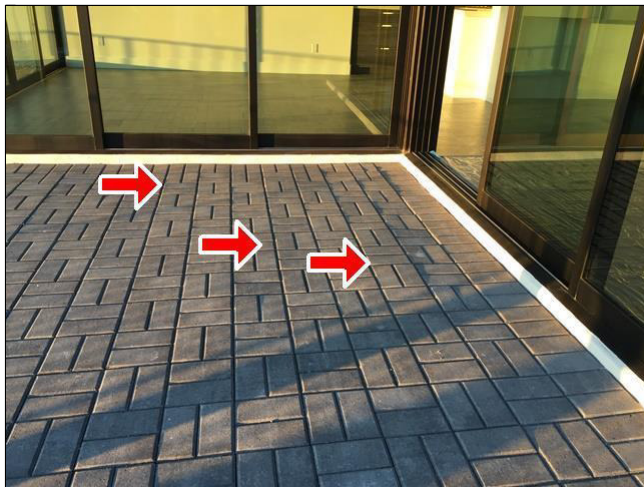


2.1 Item 3(Picture)

2.4 PATIO / DECK

Repair of Replace

Improper drainage at rear patio. The pavers at the sliding glass doors are sloped into the building. The photographs depicted are only representative photographs of this finding. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



2.4 Item 1(Picture)



2.4 Item 2(Picture)

2.5 PAINTING / CAULKING / SEALING

Repair of Replace

General caulking and sealing recommended. Caulk / sealing is needed at several locations around the structure. The photograph depicted is only a representative photograph of this finding. This finding does not conform to building standards and practices in effect at the time of construction or installation. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



2.5 Item 1(Picture)

4. Roofing

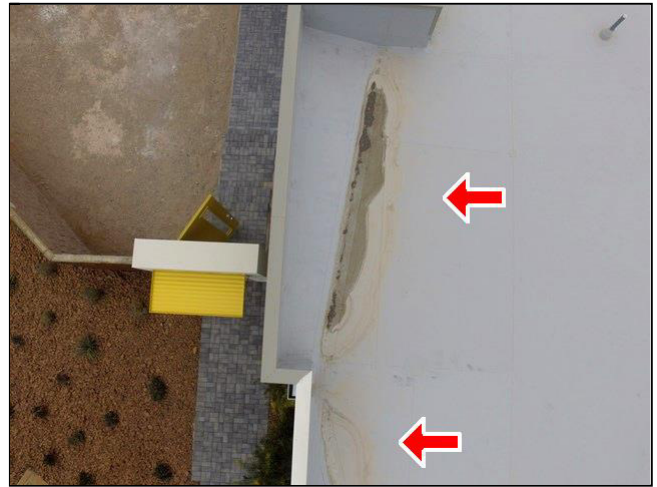
4.0 ROOF / DECK FLOOR

Repair or Replace

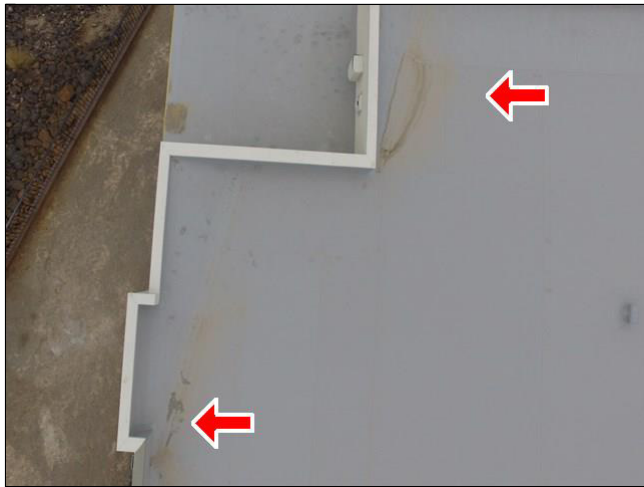
Pooling water appears to be observed on roof. Refer to photographs for further clarification. Nevada Contractors board states that " Roof sheathing should have a maximum deflection of 3/8 inch in 2 feet." This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



4.0 Item 1(Picture)



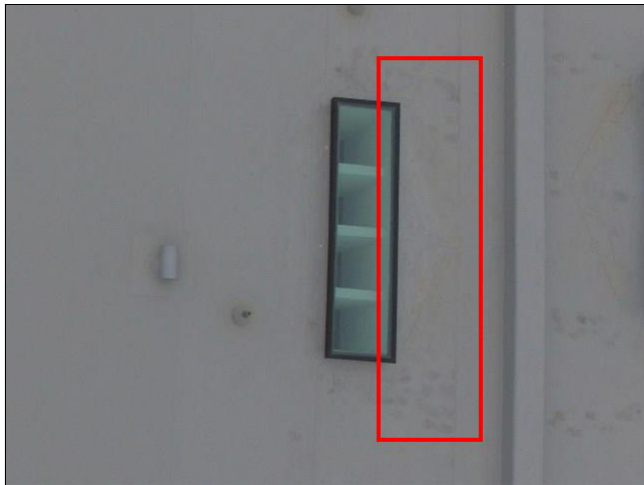
4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)



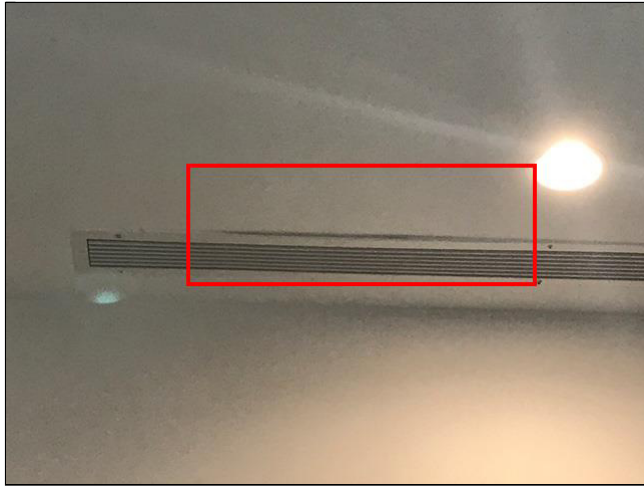
4.0 Item 5(Picture)

5. Heating / Central Air Conditioning

5.2 DUCTS / REGISTERS / DISTRIBUTION

Repair or Replace

Register damaged. This condition was observed at the entry way. Refer to the photograph for further clarification. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



5.2 Item 1(Picture)

5.9 FUEL LINE PIPING / SUPPLY

Safety Concern

Strong gas odor observed in the attic of the garage. Caution is advised!! It is recommended that South West gas be called and the source of the odor be investigated!!



5.9 Item 1(Picture)

6. Plumbing System

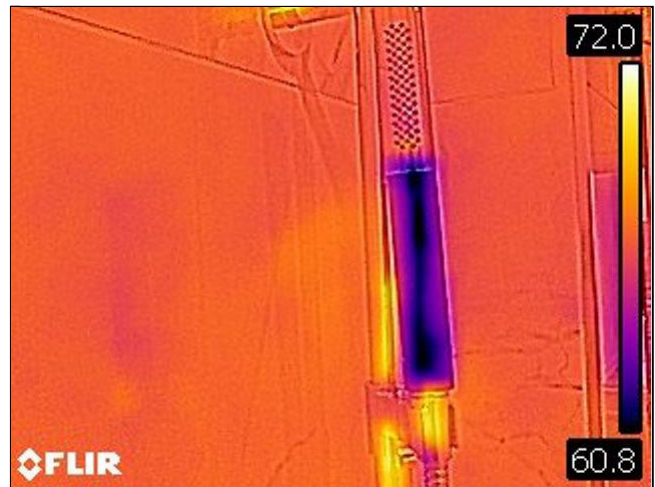
6.4 FAUCETS / VALVES

Repair or Replace

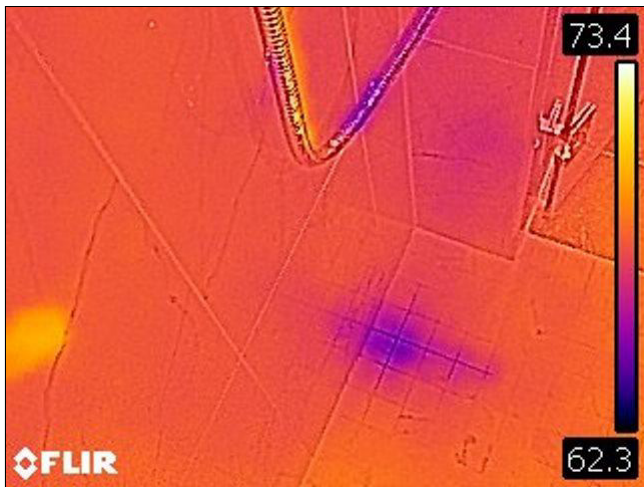
Water faucet leaking. This condition was observed at the hand wand in the master shower. Refer to the photographs for further clarification. Left uncorrected further accelerated deterioration will occur. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



6.4 Item 1(Picture)



6.4 Item 2(Picture)



6.4 Item 3(Picture)



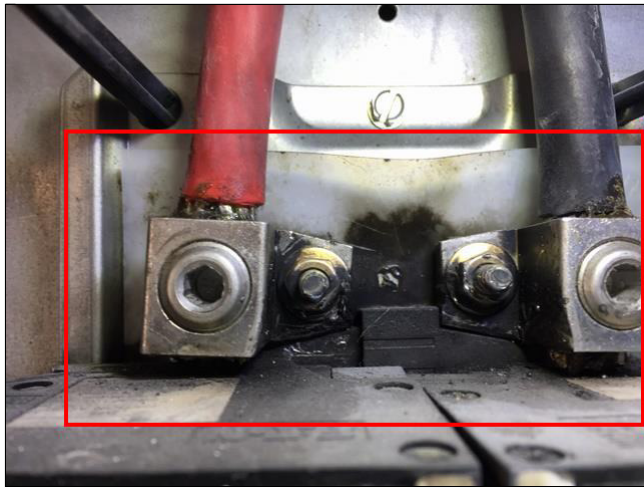
6.4 Item 4(Picture)

7. Electrical System

7.1 MAIN PANEL / SUB PANEL / BREAKERS / FUSES

Repair or Replace

(1) Evidence of Electrical Flash in Sub Panel. This condition was observed in the garage. Refer to photograph for further clarification. It appears that there was an electrical short in the sub panel and the protective barrier has been damaged. It is recommended that this finding and all associated components be reviewed and corrected as needed by the primary contractor or a Licensed and Qualified Electrical Contractor.

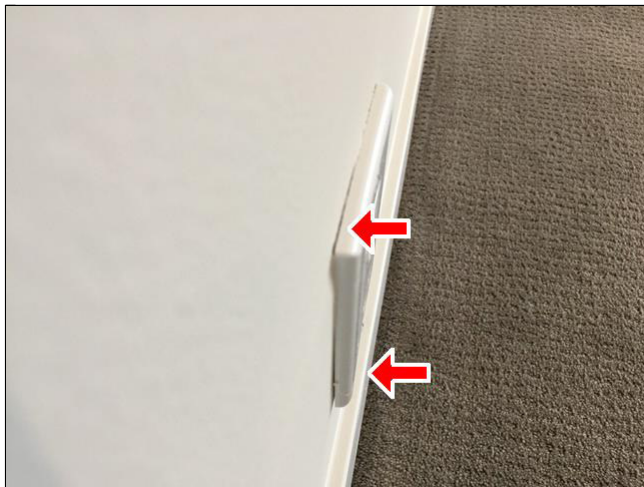


7.1 Item 1(Picture)

7.3 LIGHT FIXTURES / RECEPTACLES / SWITCHES

Repair or Replace

(1) ELECTRICAL RECEPTACLES OR SWITCHES STICK OUT FROM WALL SURFACE. This condition was observed in several locations. The photographs depicted are only representative photographs of this finding, Performance Guideline: All devices should fit snugly against the wall. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



7.3 Item 1(Picture)

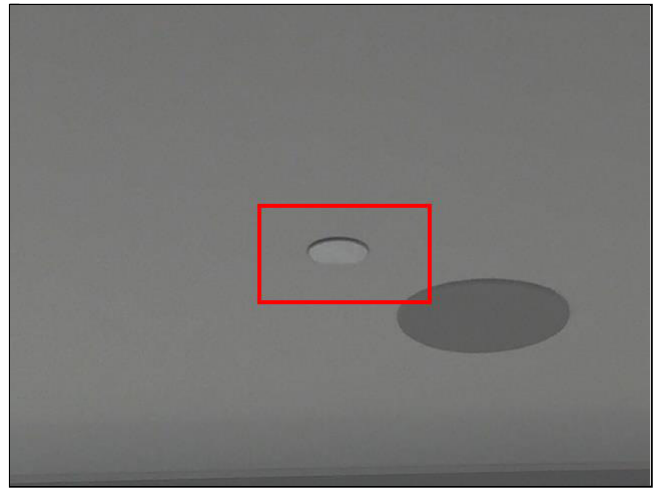


7.3 Item 2(Picture)

(2) Fire sprinkler cap gaped at ceiling. This condition was observed in several locations. The photographs depicted are only representative photographs of this finding. Performance guidelines: All devices should fit snugly against wall ceiling. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor



7.3 Item 3(Picture)



7.3 Item 4(Picture)

(3) Light fixture not secure. This condition was located at several locations around the structure. The photographs depicted are only representative photographs of this finding. Recessed light is not flush with the ceiling.. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



7.3 Item 5(Picture)

8. Bathroom

8.0 TUB / SHOWER

Repair or Replace

Curbless shower with no shower door. This condition was observed in the secondary bathroom. Refer to photograph for further clarification. There should be a shower door that goes to the floor with a sweep to help deflect water back into the shower for proper drainage. If there is to be a rod and curtain there should be a curb. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.

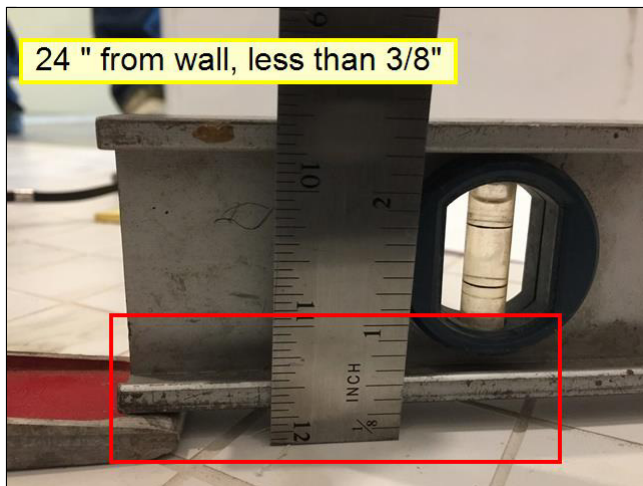


8.0 Item 1(Picture)

8.3 CEILING / WALL / SURROUND / FLOORING

Repair or Replace

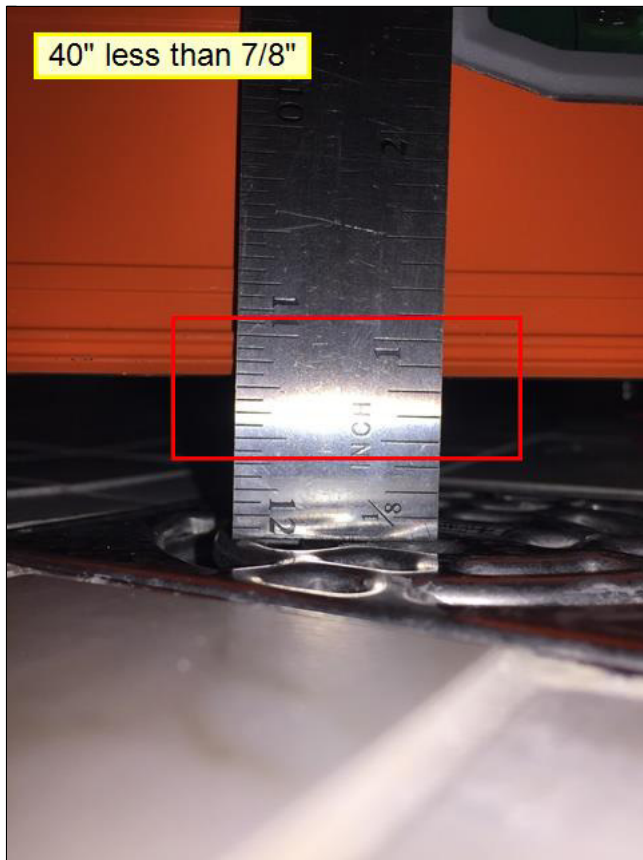
(1) Bathroom floor amiss. This condition was observed in the master bathroom shower. The photographs depicted are only representative photographs of this finding. The bathroom floor is improperly sloped. Standard building practices call for a minimum grade of 1/4 inch per lineal foot and a maximum grade of 1/2 inch per lineal foot. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



8.3 Item 1(Picture)



8.3 Item 2(Picture)

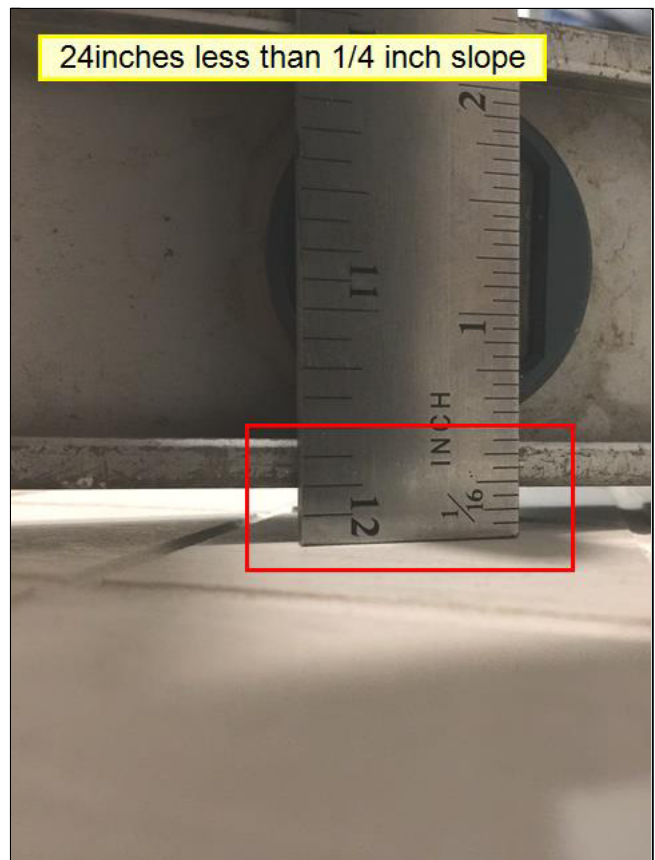


8.3 Item 3(Picture)

(2) Bathroom floor amiss. This condition was observed in the secondary bathroom shower. The photographs depicted are only representative photographs of this finding. The bathroom floor is improperly sloped. Standard building practices call for a minimum grade of 1/4 inch per lineal foot and a maximum grade of 1/2 inch per lineal foot. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



8.3 Item 4(Picture)



8.3 Item 5(Picture)

(3) Recessed shampoo / soap shelf in both master and secondary bathroom showers amiss. The recessed shelving area is improperly sloped. The photographs depicted are only representative photographs of this finding. The shelf should be sloped to shed water versus holding against the wall. This Finding does not conform the minimum required workmanship or craftsmanship performance standards. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



8.3 Item 6(Picture)



8.3 Item 7(Picture)



8.3 Item 8(Picture)

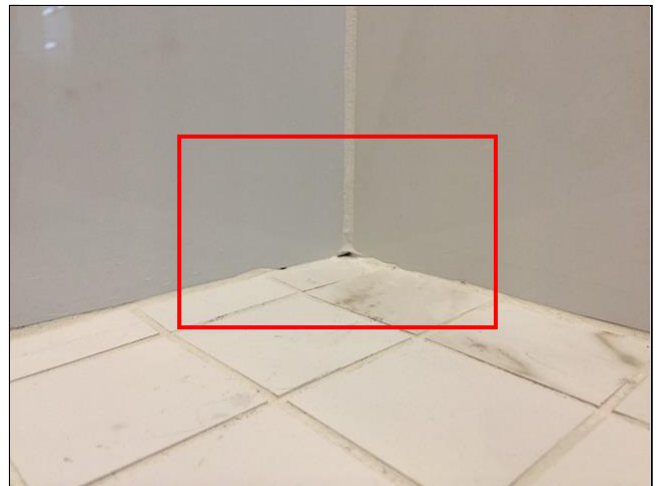
8.5 Caulking

Repair or Replace

Grout amiss. This condition was observed in both bathrooms. The photographs depicted are only a representation of this finding. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



8.5 Item 1(Picture)



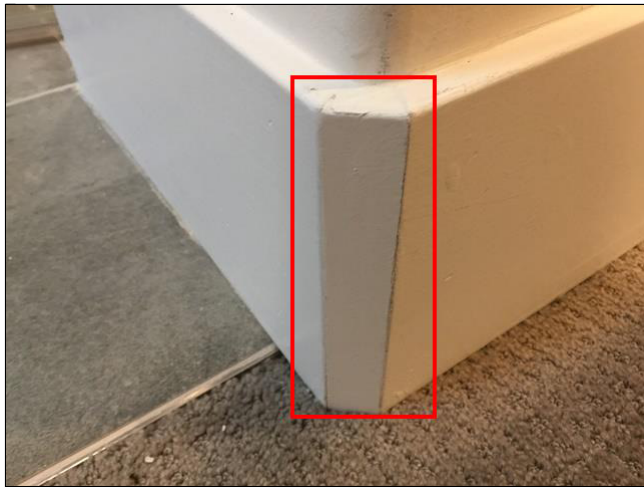
8.5 Item 2(Picture)

9. Interior

9.0 CEILINGS / WALLS

Repair or Replace

(1) Interior trim gaped This condition was observed in several locations in the home. The photographs depicted are only representative photographs of this finding. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)

(2) CEILINGS THAT ARE OUT OF LEVEL OR SQUARE

Performance Guideline: Unevenness of floors or ceilings should not exceed 1/8 inch in 4 feet and should be level within 1/4 inch in 10 feet. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.

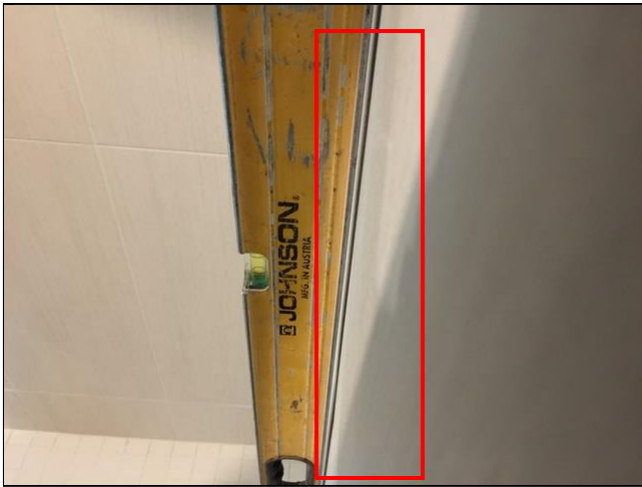


9.0 Item 4(Picture)



9.0 Item 5(Picture)

(3) Walls out of plumb. This condition was observed in several areas of the home. The photographs depicted are only a representation of this finding. United Facilities Guide Specification (UFGS) suggests a tolerance of 1/4" in 8' for plumbness of studs when finishes such as wallboard, plaster or ceramic tile set in a mortar bed are used. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



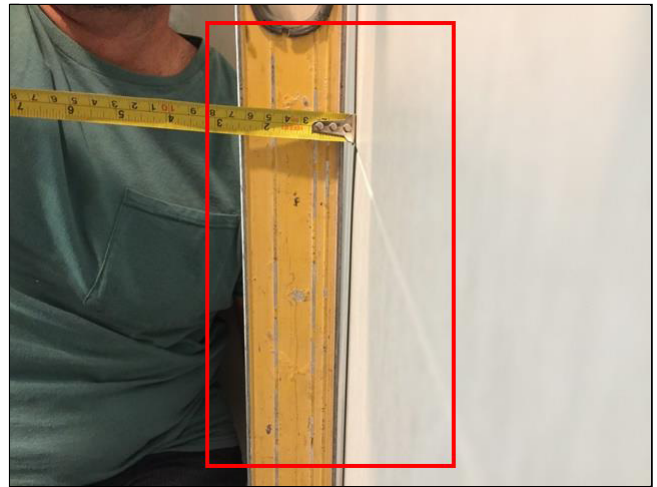
9.0 Item 6(Picture)



9.0 Item 7(Picture)



9.0 Item 8(Picture)



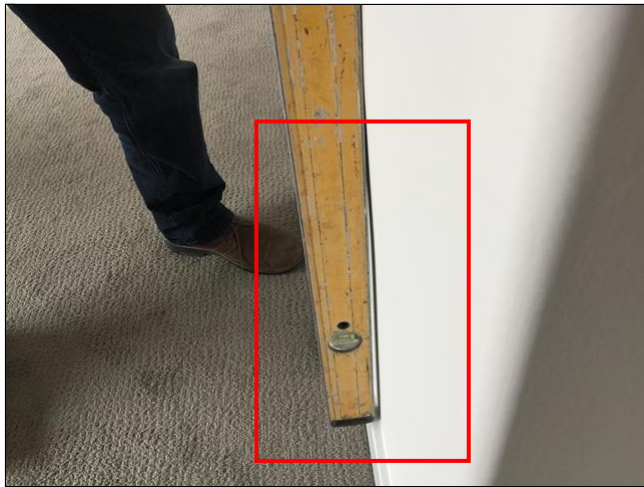
9.0 Item 9(Picture)



9.0 Item 10(Picture)



9.0 Item 11(Picture)



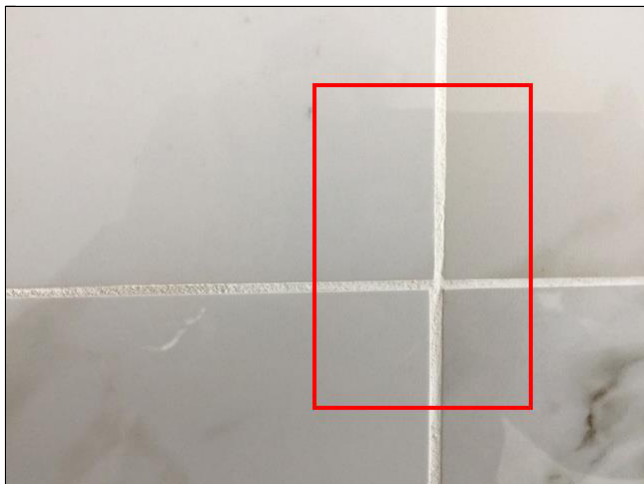
9.0 Item 12(Picture)

(4) Wall appears improperly finished. This condition was observed in the living room. Refer to the photograph for further clarification. In accordance with Nevada State Contractors Board Performance Guidelines texture should present a uniform appearance when viewed under natural lighting conditions at a distance of 5 feet. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



9.0 Item 13(Picture)

(5) Tile amiss. This condition was observed in several locations. The photographs depicted are only representative photographs of this finding. Tile chipped, grout lines not straight, and corner finishes questionable. This finding does not conform to building standards and practices in effect at the time of construction or installation. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



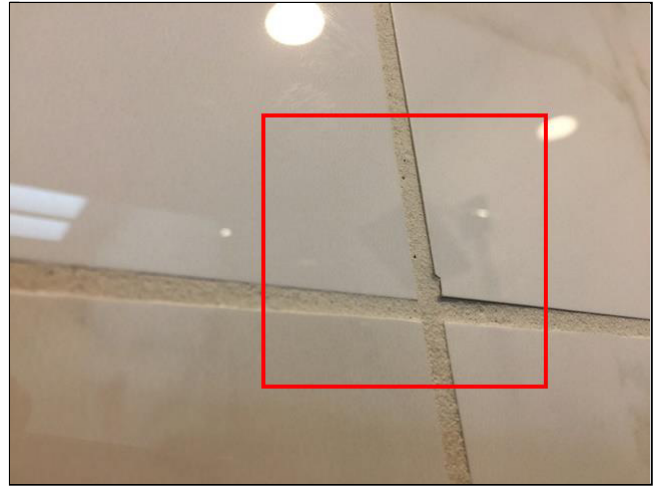
9.0 Item 14(Picture)



9.0 Item 15(Picture)



9.0 Item 16(Picture)



9.0 Item 17(Picture)



9.0 Item 18(Picture)

9.1 FLOORING

Repair or Replace

Tile uneven. This condition was observed in several locations in the home. The photographs depicted are only representative photographs of this finding. Tile should not exceed the manufacturer's recommendations or 1/16 inch lippage in absence of manufacturer's recommendations. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



9.1 Item 1(Picture)



9.1 Item 2(Picture)



9.1 Item 3(Picture)

9.3 WINDOWS

Repair or Replace

Low-E glazing anomaly noted. This condition was observed in the living room. The window has been installed backwards which will actually allow heat to pour into the home. Refer to the photograph for further clarification. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.

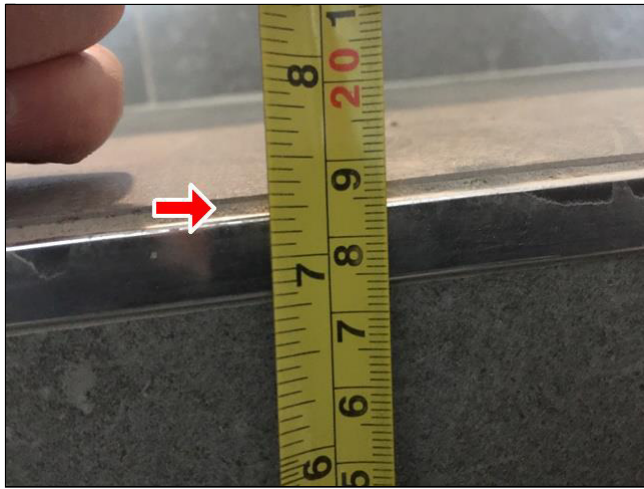


9.3 Item 1(Picture)

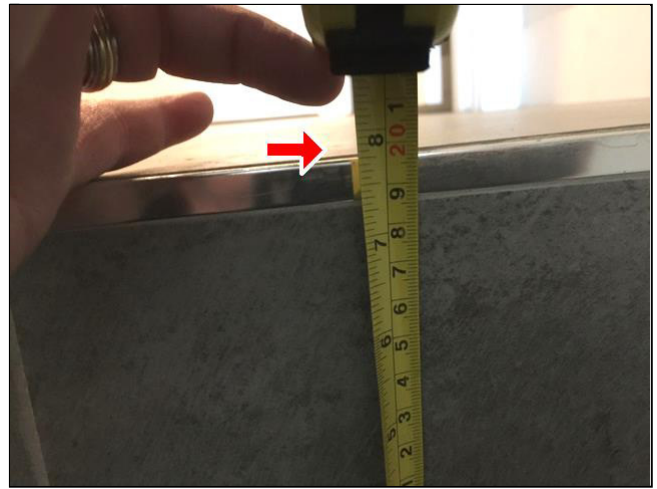
9.4 STAIRWAYS / RAILINGS / BALCONIES

Repair or Replace

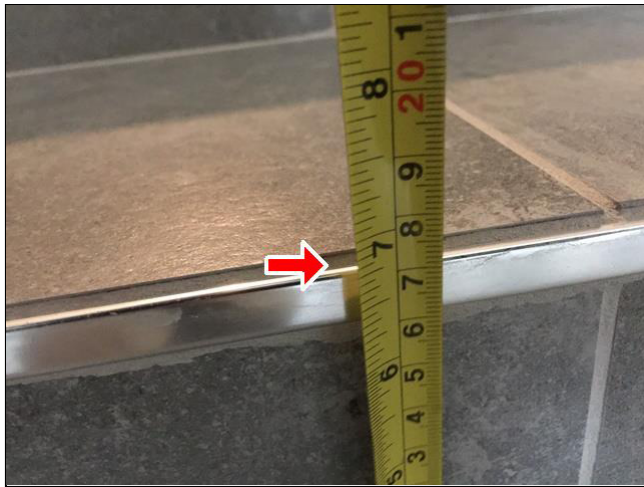
Stairs exceed maximum height / rise. This condition was observed on both sets of stairs. Refer to photographs for further clarification. The maximum height for a rise is 7 3/4 inches and the maximum difference between the highest and shortest rise is 3/8 inch according to the International Residential Code. It is recommended that this Finding and all associated components be reviewed and corrected by the Prime Contractor.



9.4 Item 1(Picture)



9.4 Item 2(Picture)



9.4 Item 3(Picture)



9.4 Item 4(Picture)



9.4 Item 5(Picture)



9.4 Item 6(Picture)

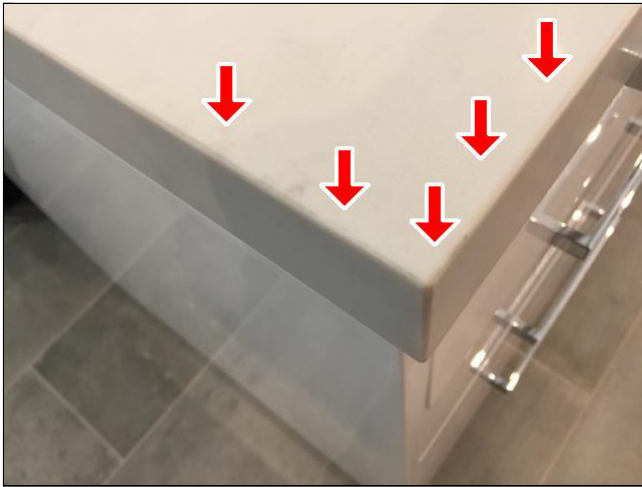
10. Kitchen

10.0 COUNTERTOPS / CABINETRY

Repair or Replace

Counter top amiss. This condition was observed in the kitchen.. The photograph depicted is only a representative photograph of this finding. This finding does not conform to building standards and practices in effect at the time of

construction or installation. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices.



10.0 Item 1(Picture)



10.0 Item 2(Picture)

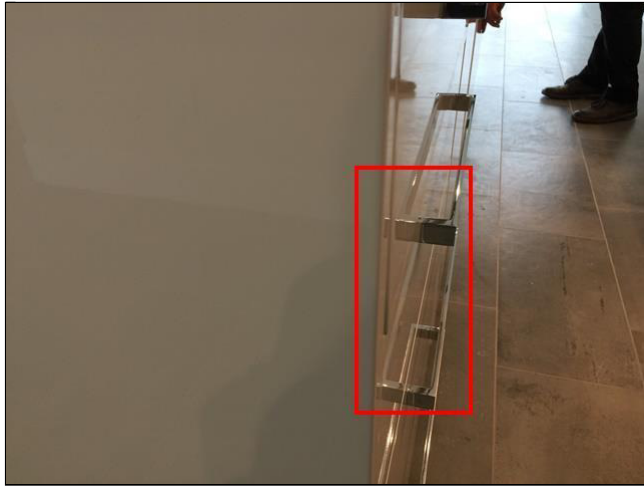


10.0 Item 3(Picture)

10.10 CABINETS

Repair or Replace

Cabinetry drawer issue. This condition was observed in several locations in the home. The photographs depicted are only representative photographs of this finding. This Finding does not conform the minimum required workmanship or craftsmanship performance standards as defined by the SNHBA and affirmed by the Nevada State Contractors Board. It is recommended the Prime Contractor review this finding and correct as needed to conform with applicable building standards and practices..



10.10 Item 1(Picture)



10.10 Item 2(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Tim Harsh

Preventive Maintenance Summary



Akamai Structural Inspector LLC

7507 Tamarind Ave
Las Vegas, NV 89147
808-870-3552

Customer

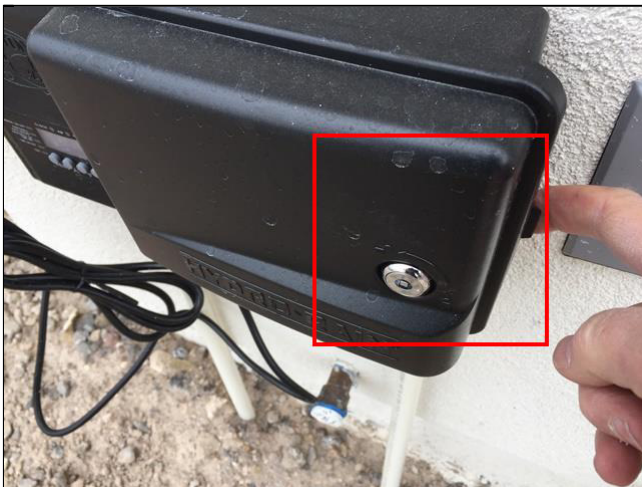
Address

1. Grounds

1.4 IRRIGATION SYSTEM CONTROLLER

Preventive Maintenance

Access impaired. This condition was observed on the South side of the property. Refer to the photograph for further clarification. The controller was locked and the proper operation of the controller could not be observed. Further investigation is advised.



1.4 Item 1(Picture)



**Akamai
Structural
Inspector
LLC**

INVOICE

Akamai Structural Inspector LLC
7507 Tamarind Ave
Las Vegas, NV 89147
808-870-3552
Inspected By: Tim Harsh

Inspection Date: 1/5/2019
Report ID: 0105180900TLH

Customer Info:	Inspection Property:
 Customer's Real Estate Professional:	

Inspection Fee:

Payment Method: Credit Card
Payment Status: Paid
Note: